

1088.000

**TOWN OF HIGH LEVEL
DEVELOPMENT PERMIT**

| | |
|----------------------|---|
| PERMIT NO.: | DP25-035 |
| PROPOSED USE: | Permitted Use – 22,000 ft² Phase 1 Warehouse & Garage Addition (Addition to Industrial Operation) |
| APPLICANT: | Kristine Wellman |
| LANDOWNER: | La Crete Co-op Ltd. |
| LOCATION: | Lot 4A, Block 6, Plan 252 2133 |

A development involving Application No. DP25-035 has been Approved with the following Conditions.

1. The site shall be developed in accordance with the site drawings and information attached hereto as Schedule A.
2. Prior to occupancy of the development, the Registered Owner/Applicant shall obtain a post-construction Lot Grading Certificate, prepared by a registered Alberta Land Surveyor, and provide the Certificate to the Development Officer. The Lot Grading Certificate must demonstrate that the post-construction lot grades, drainage, and elevations are consistent with the approved Lot Grading and Drainage Plan as per Schedule B.
3. Prior to occupancy of the development, the Registered Owner/Applicant shall enter into and comply with a development agreement with the Town of High Level, pursuant to Section 650 of the Municipal Government Act, R.S.A. 2000, c. M-26, as amended, and which development agreement shall be registered by way of caveat against the title of Lot 4A, Block 6, Plan 252-2133. This development agreement shall, amongst other matters address, to the satisfaction of the Town of High Level, the matter of stormwater management, relating to the site to appropriate standards.
4. Development must be commenced within one (1) year from the Date of Issue. If at the expiry of this period, the development has not commenced, this Permit shall be null and void.
5. The Applicant/Registered Owner shall ensure there is no damage to municipal property resulting from this permit. Costs for repairs of municipal property will be assessed by the Town of High Level and will be charged back to the applicant.

You are hereby authorized to proceed with the development specified, provided that any stated conditions are complied with, that all other applicable permits are obtained, and that the appropriate appeal period has been exhausted. Should an appeal be made against this decision to the Subdivision and Development Appeal Board, this Development Permit shall not come into effect until the appeal has been determined and the Permit upheld, modified or nullified.

DATE OF DECISION OF DEVELOPMENT PERMIT: **November 17, 2025**

DATE OF ISSUE OF DEVELOPMENT PERMIT: **November 17, 2025**

DATE OF VALIDITY OF DEVELOPMENT PERMIT: **December 9, 2025**

SIGNATURE OF DEVELOPMENT AUTHORITY: _____



Viv Thoss

NOTES:

1. If the development is found to be incorrectly placed, the applicant may be required to move or remove the development at the sole expense of the Applicant/Registered Owner. Any changes to the attached plans will require a new development permit.
2. An appeal can be made by filing a written notice of appeal along with payment to the **Subdivision and Development Appeal Board (10511 103rd Street, High Level, AB, T0H 1Z0)** within 21 days from the date of the receipt of this decision. In the case of an appeal made by a person referred to in section 685(2) of the *Municipal Government Act*, within 21 days after the date on which the notice of the issuance of the permit was given.
3. **This is a Development Permit ONLY.** Issuance of this Permit does not excuse the applicant from satisfying all other applicable municipal, provincial and/or federal requirements.
4. **Future phases of development on the site will be subject to a new development permit application and approval.**

OTHER PERMITS ARE REQUIRED

In the interest of public safety and as required by the Safety Codes Act construction permits must be obtained before commencing any work. Required permits may include building, electrical, gas, plumbing, and private sewage. Additionally, the Town of High Level requires permits for water & sewer connection, new accesses, and driveways.

PLEASE NOTE

The Applicant and/or Registered Owner are responsible for applying for, and receiving, all necessary permits prior to beginning construction. Ensure that you or your contractors obtain all other required permits related to the development. For more information regarding how to obtain the required permits, contact Superior Safety Codes 1-866-999-4777. If you are unsure which additional municipal permits you may need, please contact development@highlevel.ca.

SCHEDULE A

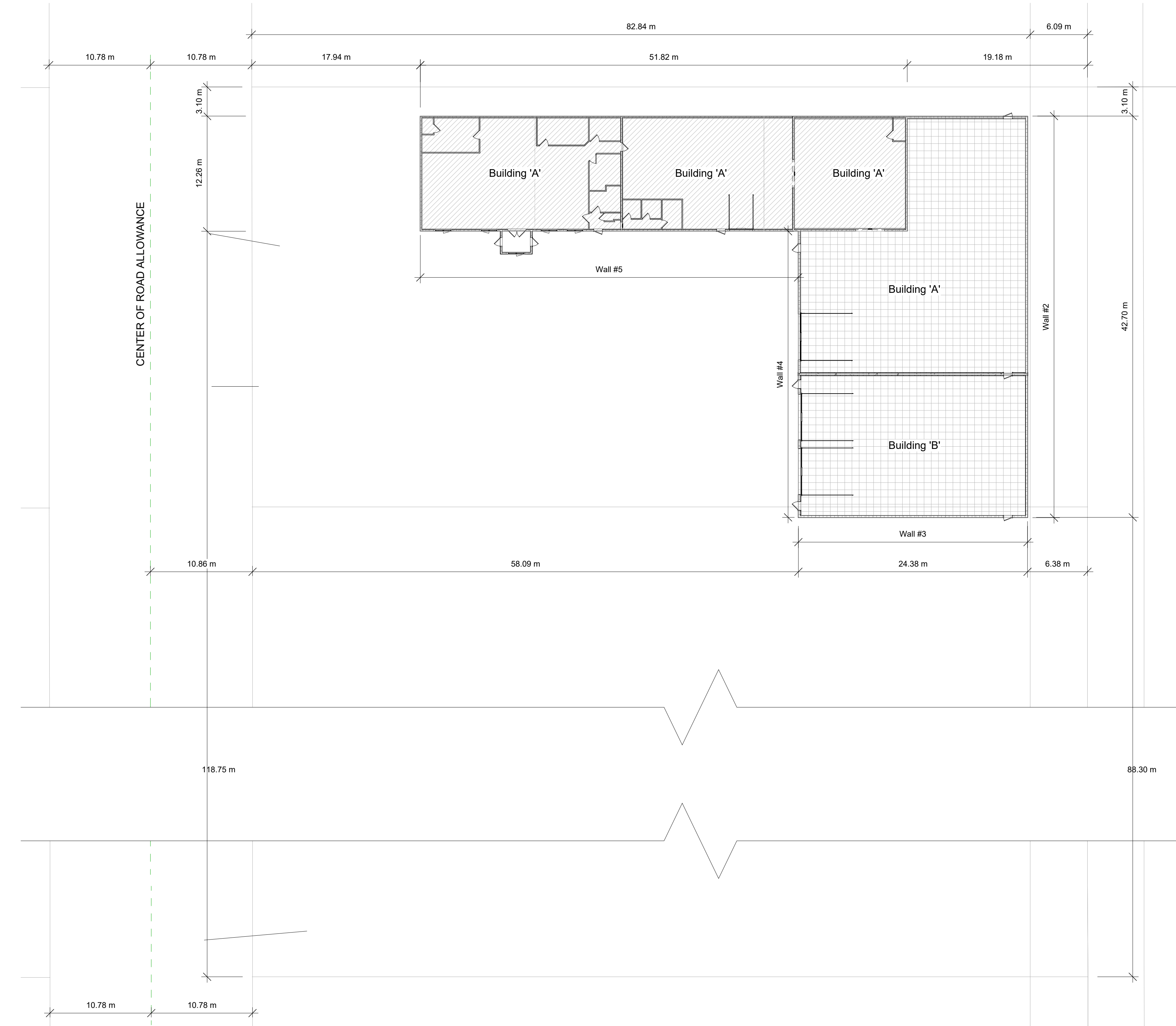
Approved November 17, 2025



(13 pages)

Viv Thoss
Development Authority

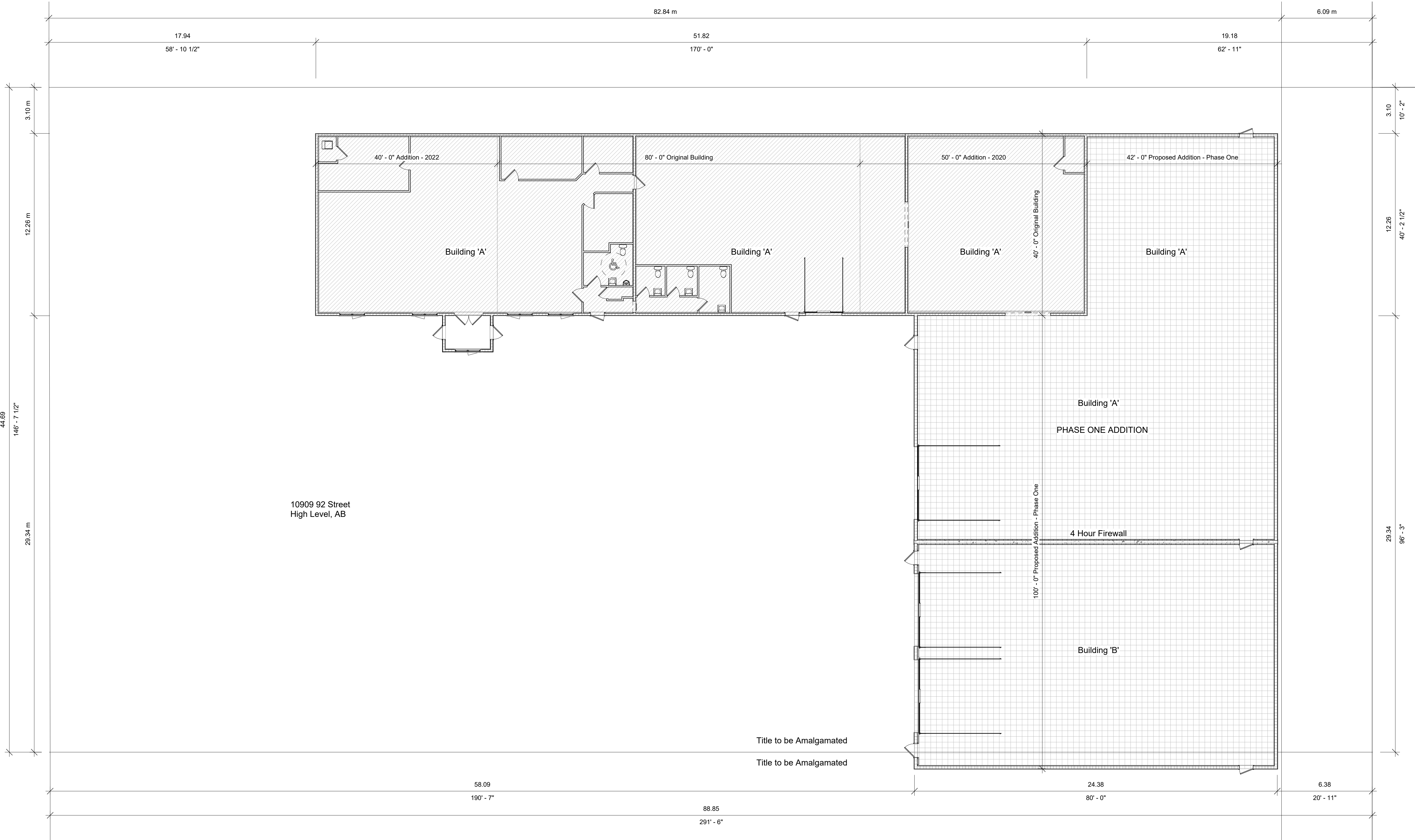
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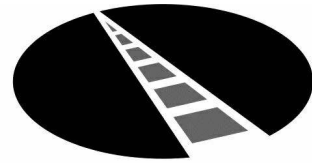
① Site Plan (Overall)
3/64" = 1'-0"

| | | | | | | | |
|---|--------------------------------|---|------------------------------------|--|---|---|--|
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| | CHECKED BY: <div>G.W.</div> | | | SHEET NO: <div>A 1.1</div> | | | |
| | | | | DATE: <div>Oct 20, 2025</div> | | | |

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1 Site Plan (Detail)
3/32" = 1'-0"



RAILSIDE
DESIGN

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Email:
admin@railsidedesign.com
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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Site Plan (Detail)

SHEET NO:

A 1.2

DATE:

Oct 20, 2025

SCALE:

3/32" = 1'-0"

SEAL:

Issued for Development
Permit

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G.W.

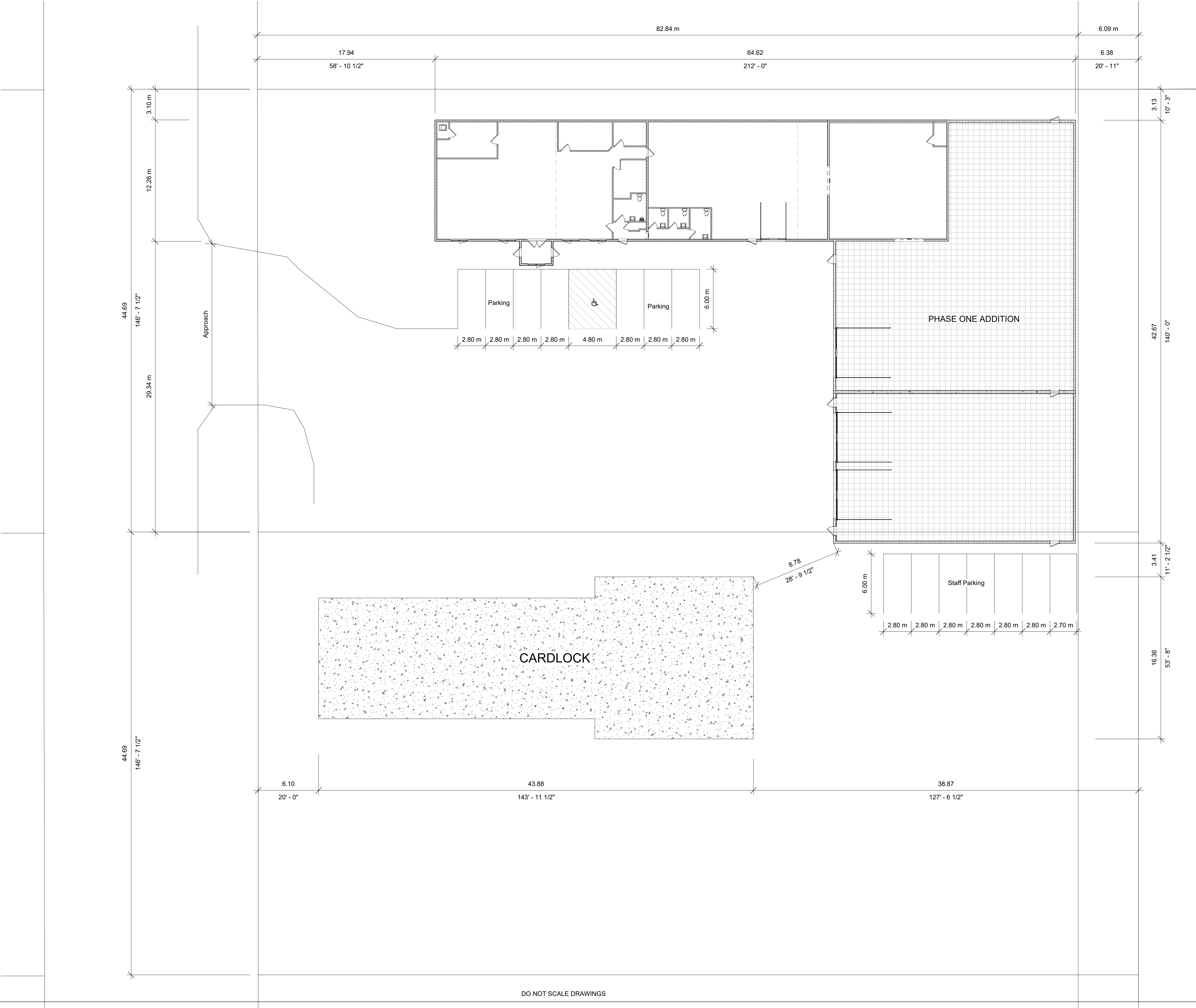
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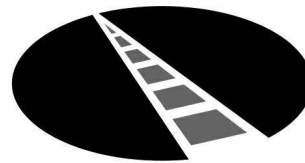
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DO NOT SCALE DRAWINGS



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PROJECT:
High Level Co-op
High Level, AB

DRAWING TITLE:
Yard Plan

SHEET NO:
A 1.3

DATE:
Oct 20, 2025

SCALE:
1/16" = 1'-0"

**Issued for Development
Permit**

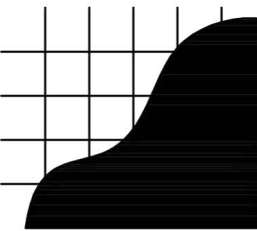


OCT 6 2025

RON WICKMAN ARCHITECT
SPECIALIZING IN BARRIER-FREE DESIGN

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P 780 430 9935
rwickman@shaw.ca
ronwickmanarchitect.ca

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B.A., B.E.D.S., M.A.R.C.H., A.A.A., M.R.A.I.C.



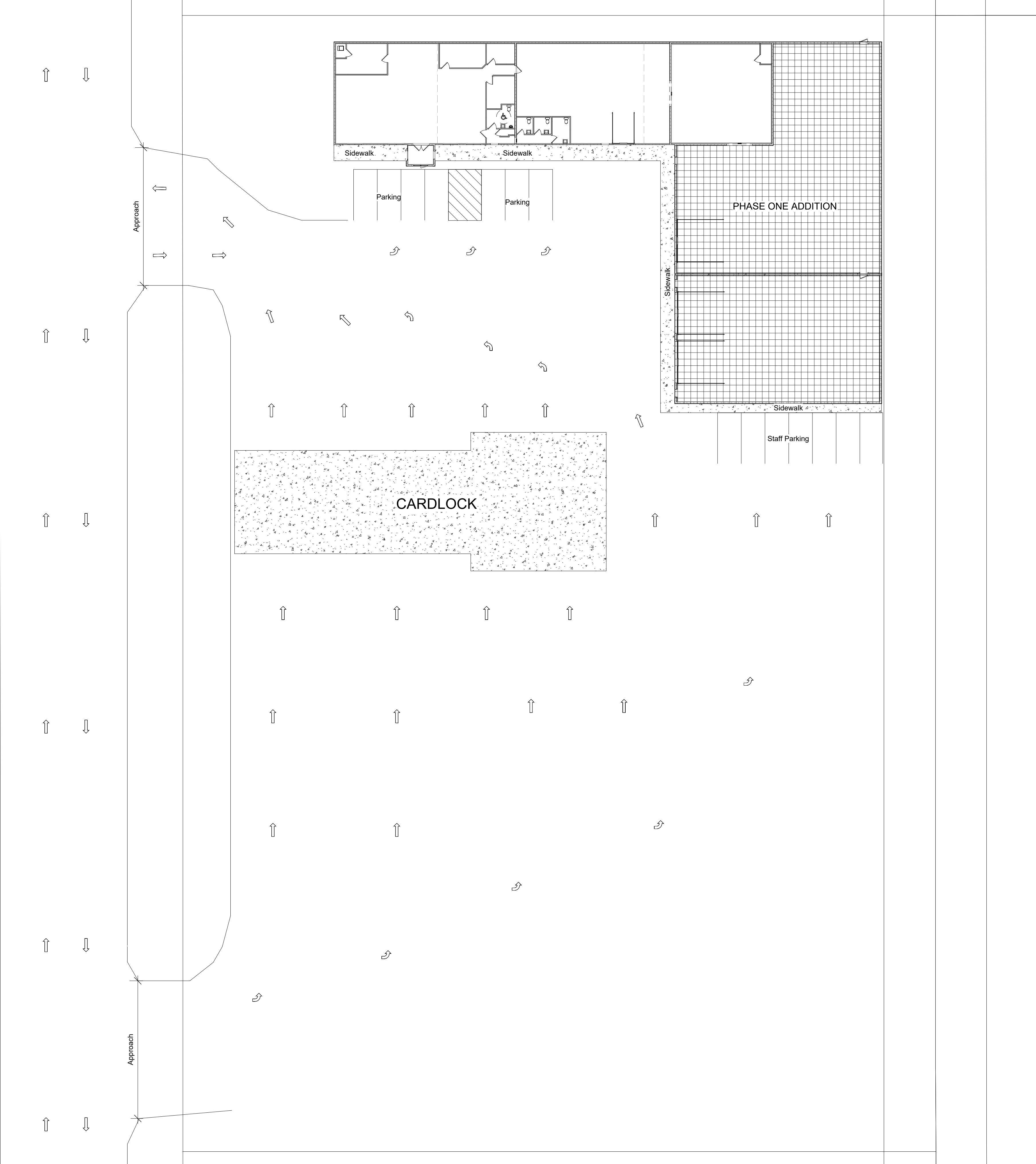
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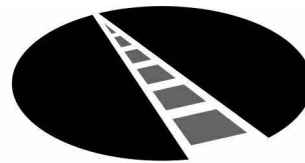
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1 Circulation Plan
3/64" = 1'-0"

DO NOT SCALE DRAWINGS



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PROJECT:
High Level Co-op
High Level, AB

DRAWING TITLE:
Circulation Plan

SHEET NO:
A 1.4

DATE:
Oct 20, 2025

SCALE:
3/64" = 1'-0"

**Issued for Development
Permit**

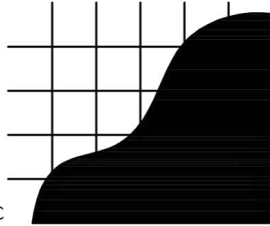


OCT 6 2025

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DRAWN BY: **G.W.**

CHECKED BY: **G.W.**

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Phone: 587-377-0232
keon@kbengineering.ca

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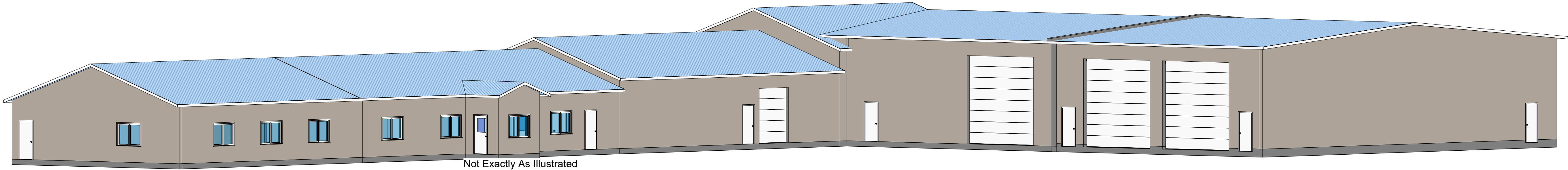
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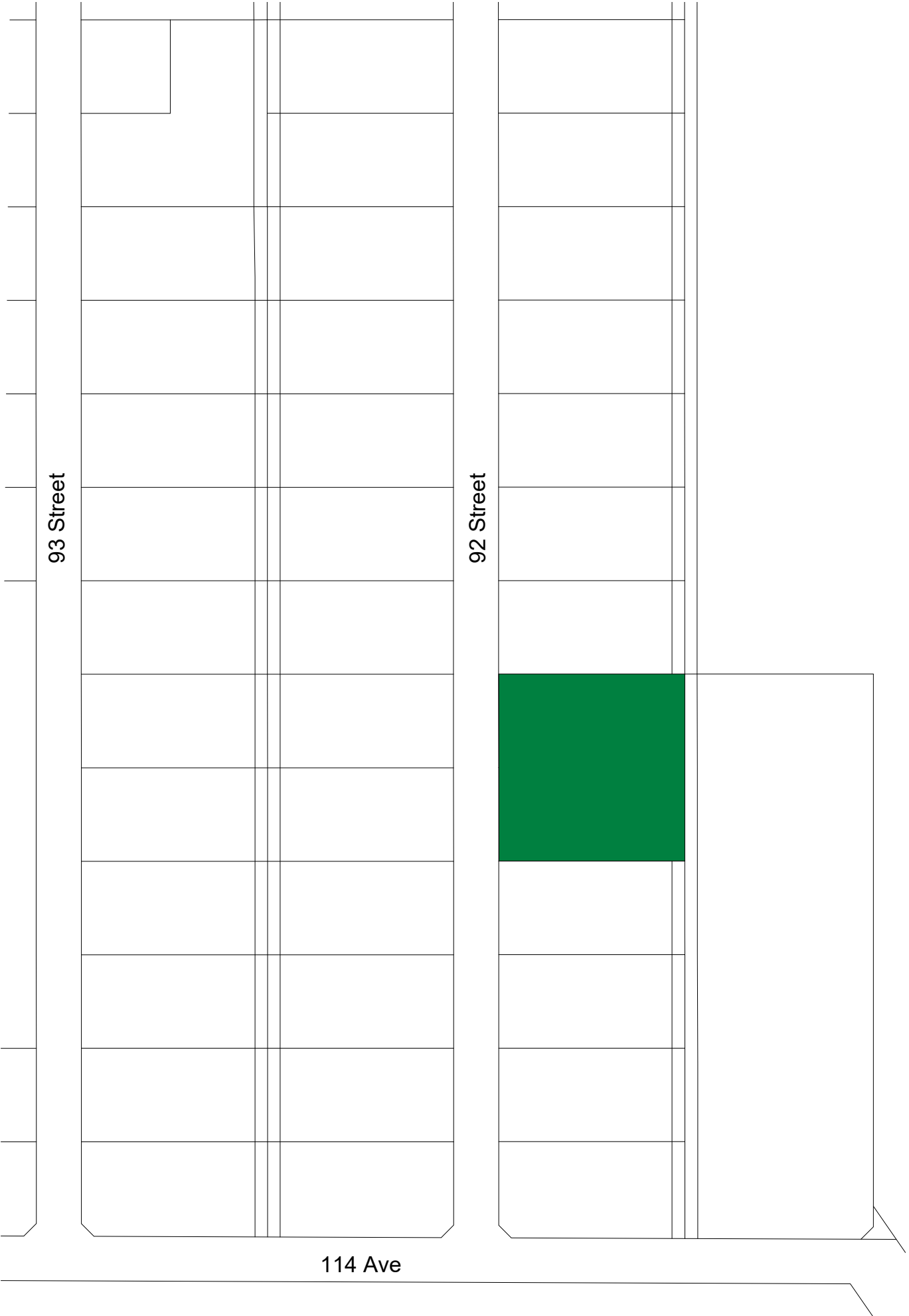
ENERGY CONSULTANT:

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Red Deer, AB
T4P 3C7

Phone: 403-399-1553
charles@kbengineering.ca



Phase 2
Future



3 Property Plan
N.T.S.

BUILDING ANALYSIS ABC 2023

BUILDING 'A';

RETAIL & WAREHOUSE

BUILDING CLASSIFICATION GROUP D

BUILDING CODE 3.2.2.62 (Combustible Construction)

BUILDING 'B';

PARKING GARAGE

BUILDING CLASSIFICATION GROUP F3

BUILDING CODE 3.2.2.89 (Combustible Construction)

FACING 2 STREETS

BUILDING AREAS

BUILDING 'A'

Existing Floor Area - 6,888 Sq.Ft. (639.9 M²)

Retail Addition Floor Area - 2,000 Sq.Ft. (185.8 M²)

Warehouse Addition Floor Area - 5,680 Sq.Ft. (520.3 M²)

TOTAL BUILDING 'A' FOOTPRINT - 14,568 Sq.Ft. (1,353.4 M²)

BUILDING 'B'

Parking Garage Floor Area - 4,000 Sq.Ft. (371.6 M²)

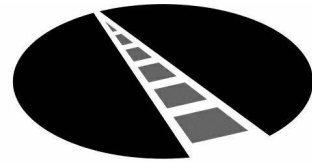
TOTAL BUILDING 'B' FOOTPRINT - 4,000 Sq.Ft. (371.6 M²)

OCCUPANT LOAD 14

10909 92 Street
High Level, AB

2 Cover Notes
N.T.S.

| Sheet List | |
|--------------|--------------------------------------|
| Sheet Number | Sheet Name |
| | |
| A 1.0 | Cover |
| A 1.1 | Site Plan |
| A 1.2 | Yard Plan |
| A 2.0 | West & South Elevations |
| A 2.1 | East & North Elevations |
| A 3.0 | Layout (Original) |
| A 3.1 | Layout (Overall) |
| A 3.2 | Layout (Retail Addition) |
| A 3.3 | Layout (Warehouse & Garage Addition) |
| A 4.0 | Foundation |
| A 5.0 | Roof Layout |



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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Cover

SHEET NO:

A 1.0

DATE:

Sep 11, 2025

SCALE:

As indicated

SEAL:

Issued for Development
Permit

DRAWN BY:

G.W.

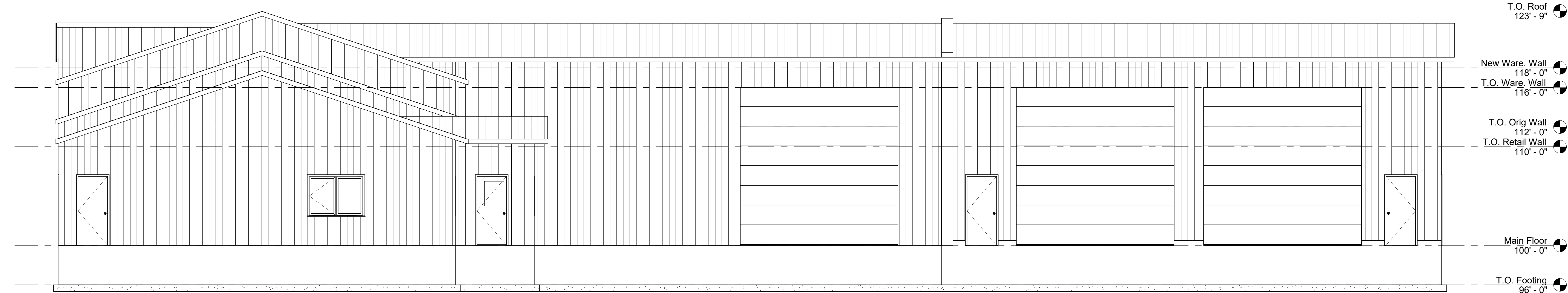
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G.W.

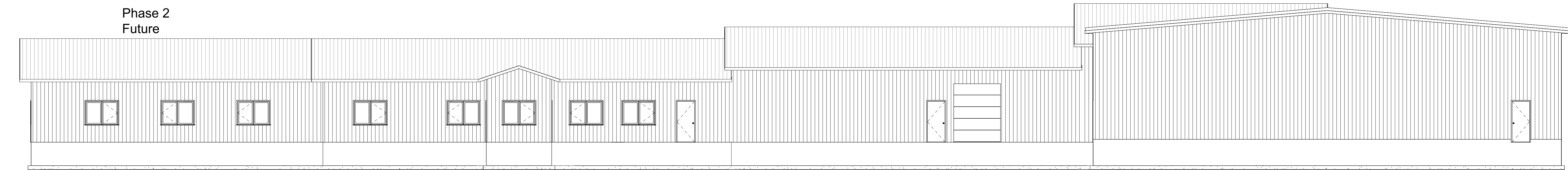
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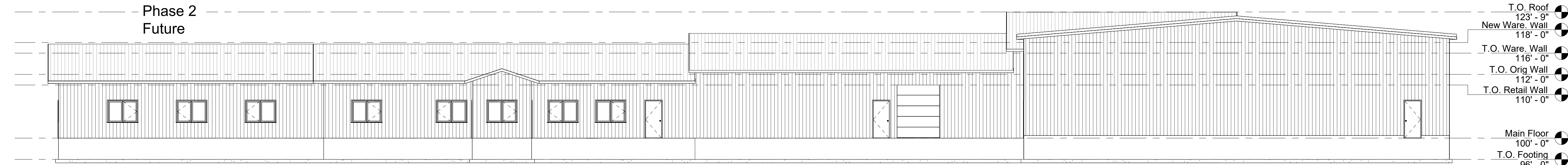
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1 West Elevation
3/16" = 1'-0"



2 South Elevation
1/8" = 1'-0"



3 South Elevation (Levels)
1" = 10'-0"

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G.W.

CHECKED BY:

G.W.

SEAL:

Issued for Development Permit

SCALE:

As indicated

DRAWING TITLE:

West & South Elevations

SHEET NO:

A 2.0

DATE:

Sep 11, 2025

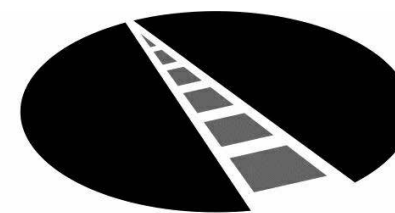
PROJECT:

High Level Co-op

High Level, AB

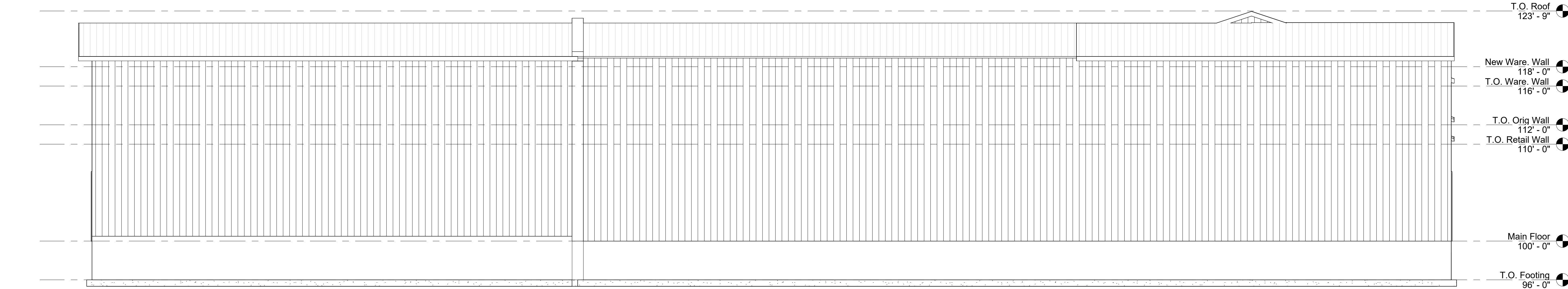
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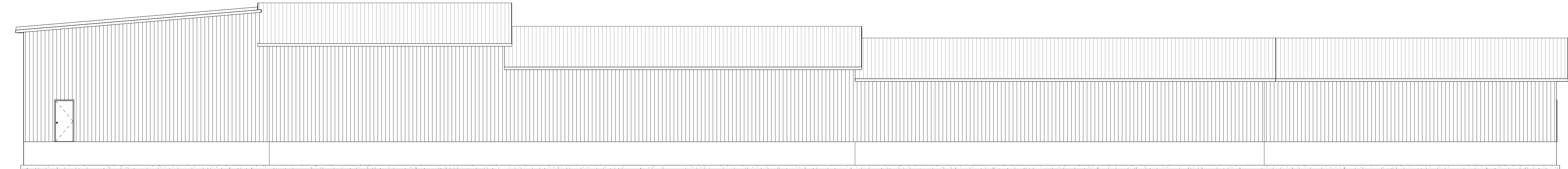


RAILSIDE
DESIGN

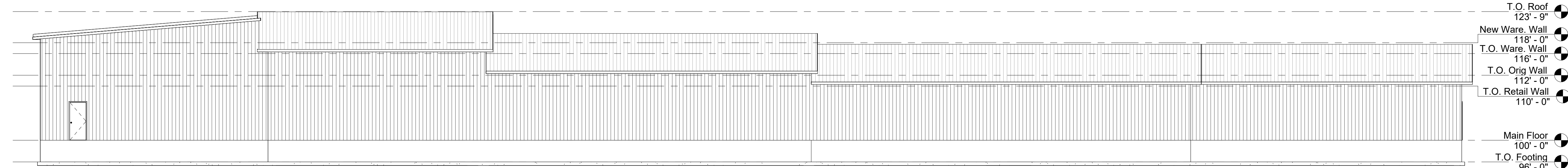
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1 East Elevation
3/16" = 1'-0"



2 North Elevation
1/8" = 1'-0"



3 North Elevation (Levels)
1" = 10'-0"

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G.W.

CHECKED BY:
G.W.

SEAL:
Issued for Development Permit

SCALE:
As indicated

DRAWING TITLE:
East & North Elevations

SHEET NO:
A 2.1

DATE:
Sep 11, 2025

PROJECT:
High Level Co-op

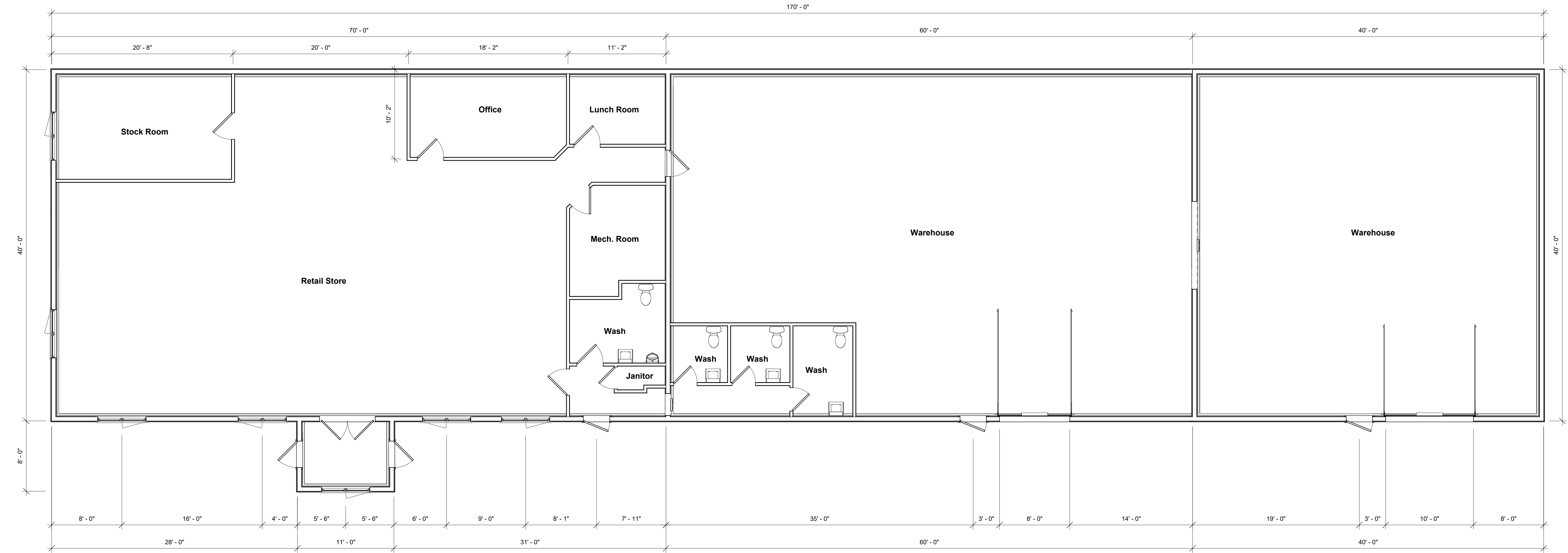
High Level, AB

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① Main Floor (Original)
3/16" = 1'-0"

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CHECKED BY:
G.W.

SEAL:
Issued for Development Permit

SCALE:
3/16" = 1'-0"

DRAWING TITLE:
Layout (Original)

SHEET NO:
A 3.0

DATE:
Sep 11, 2025

PROJECT:
Hlgh Level Co-op

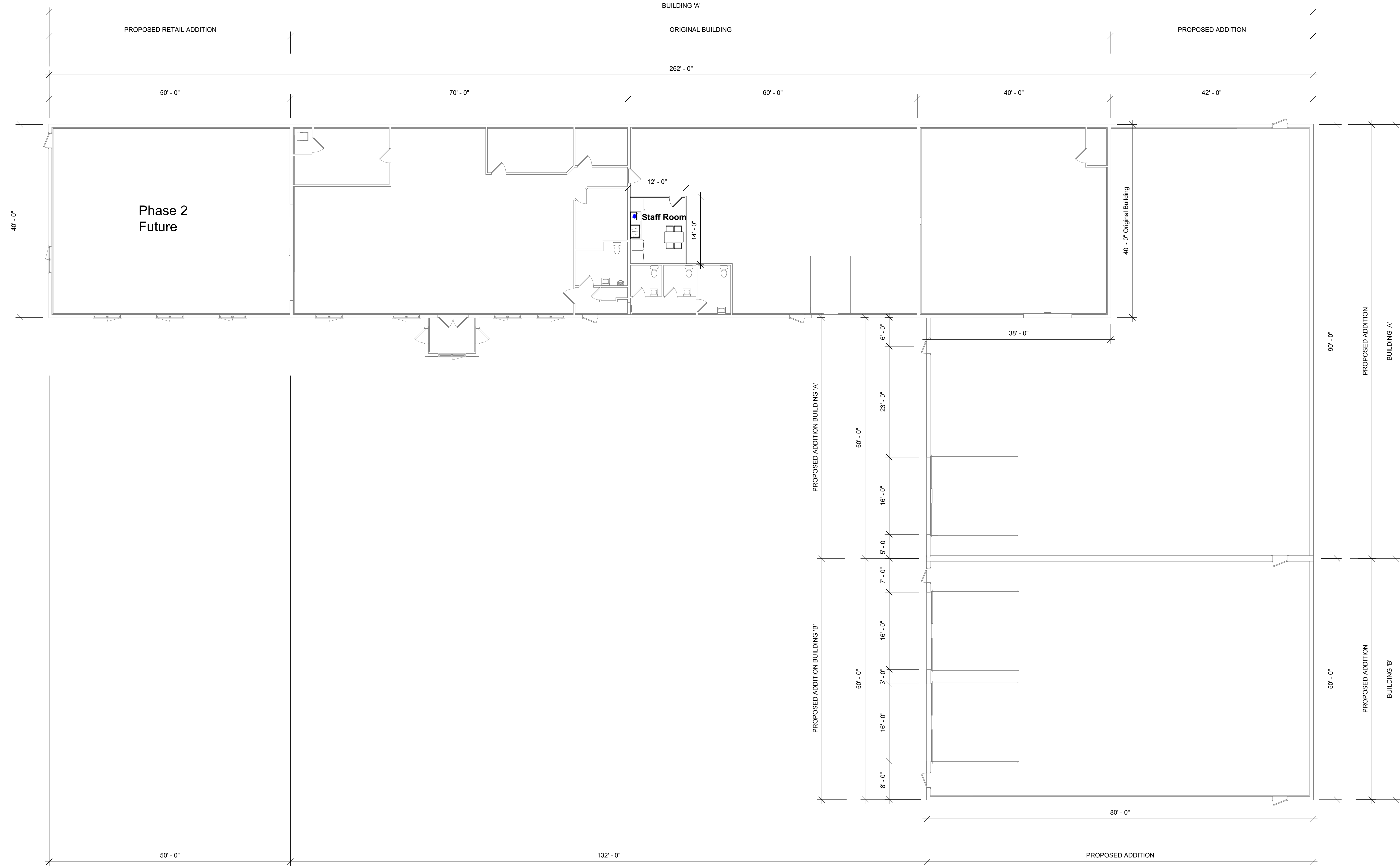
High Level, AB

Box 3083
Vermilion, AB
T9X 2B1
Tel: (403) 740-6414

Email:
admin@railsidedesign.com
www.railsidedesign.com

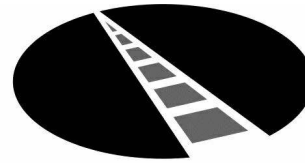


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① Main Floor (Overall)
1" = 10'-0"

DO NOT SCALE DRAWINGS



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DESIGN**

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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Layout (Overall)

SHEET NO:

A 3.1

DATE:

Sep 11, 2025

SCALE:

1" = 10'-0"

SEAL:

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Permit

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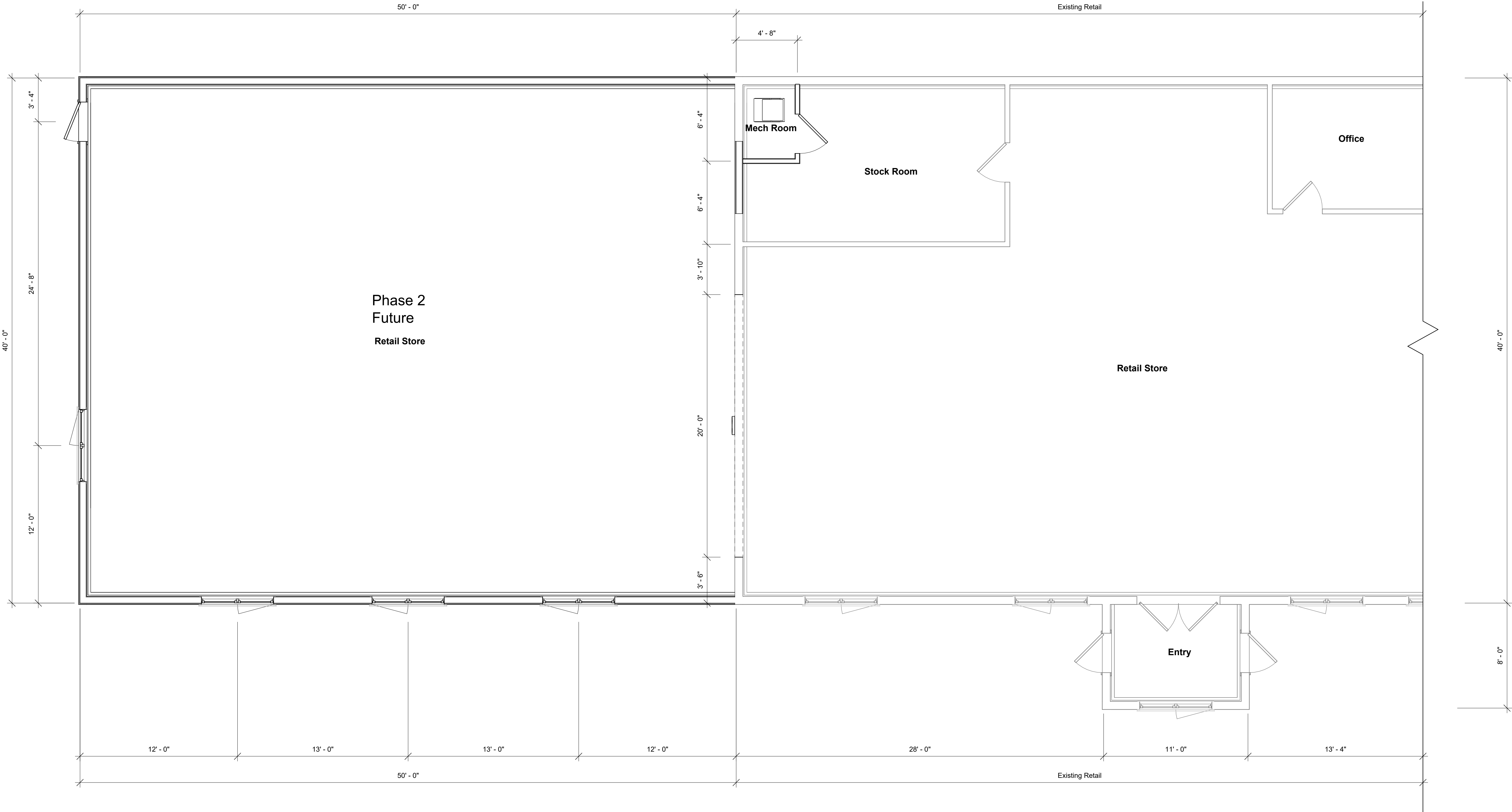
G.W.

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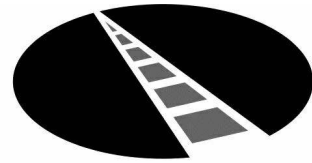
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2025-09-11 10:57:27 AM

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1 Front Addition
1/4" = 1'-0"



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www.railsidedesign.com

PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Layout (Retail Addition)

SHEET NO:

A 3.2

DATE:

Sep 11, 2025

SCALE:

1/4" = 1'-0"

SEAL:

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Permit

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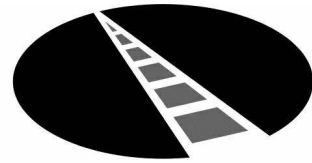
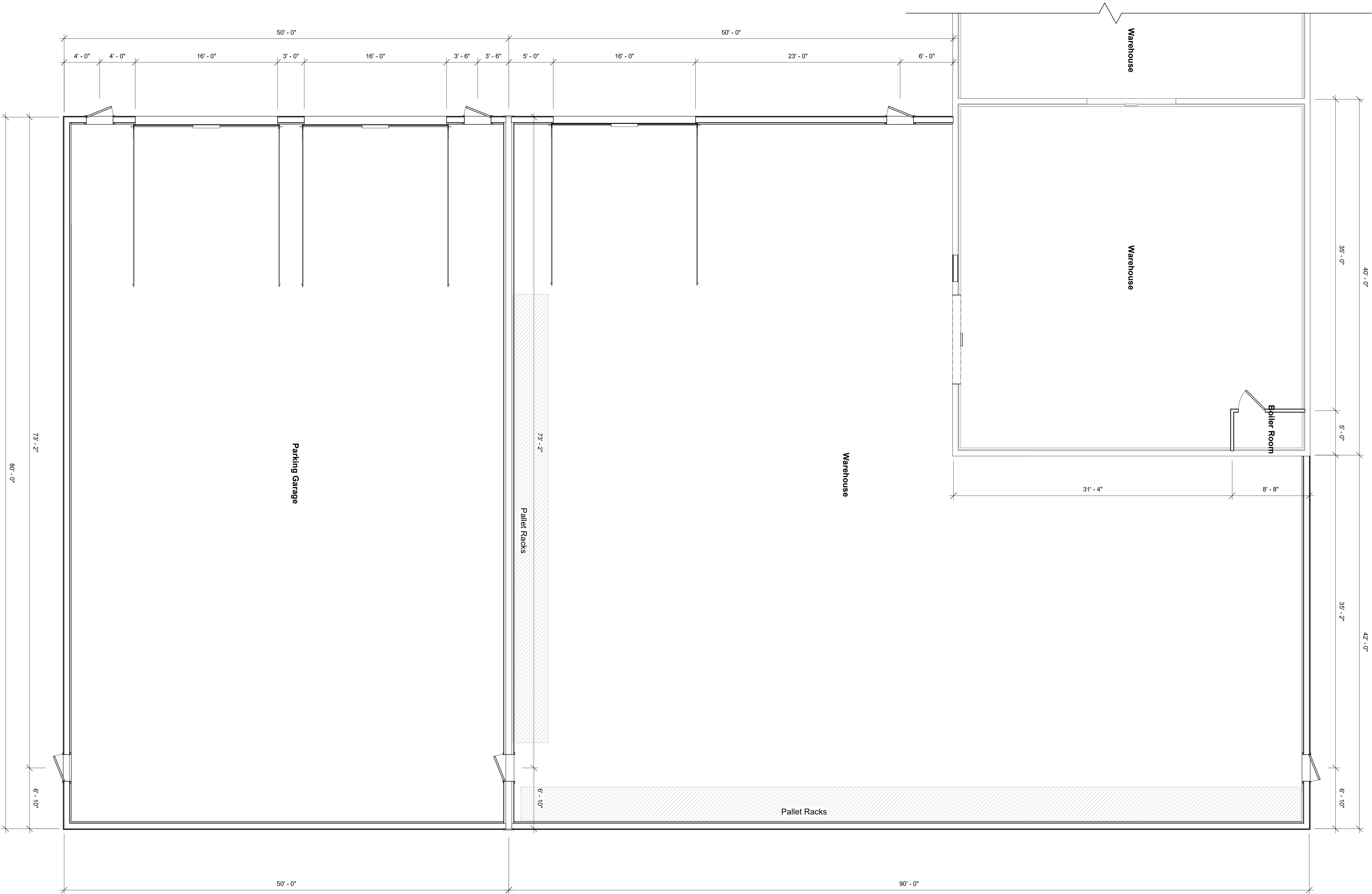
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3/16" = 1'-0"
Main Floor (Warehouse & Garage Addition) 1



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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Layout (Warehouse &
Garage Addition)

SHEET NO:

A 3.3

DATE:

Sep 11, 2025

SCALE:

3/16" = 1'-0"

SEAL:

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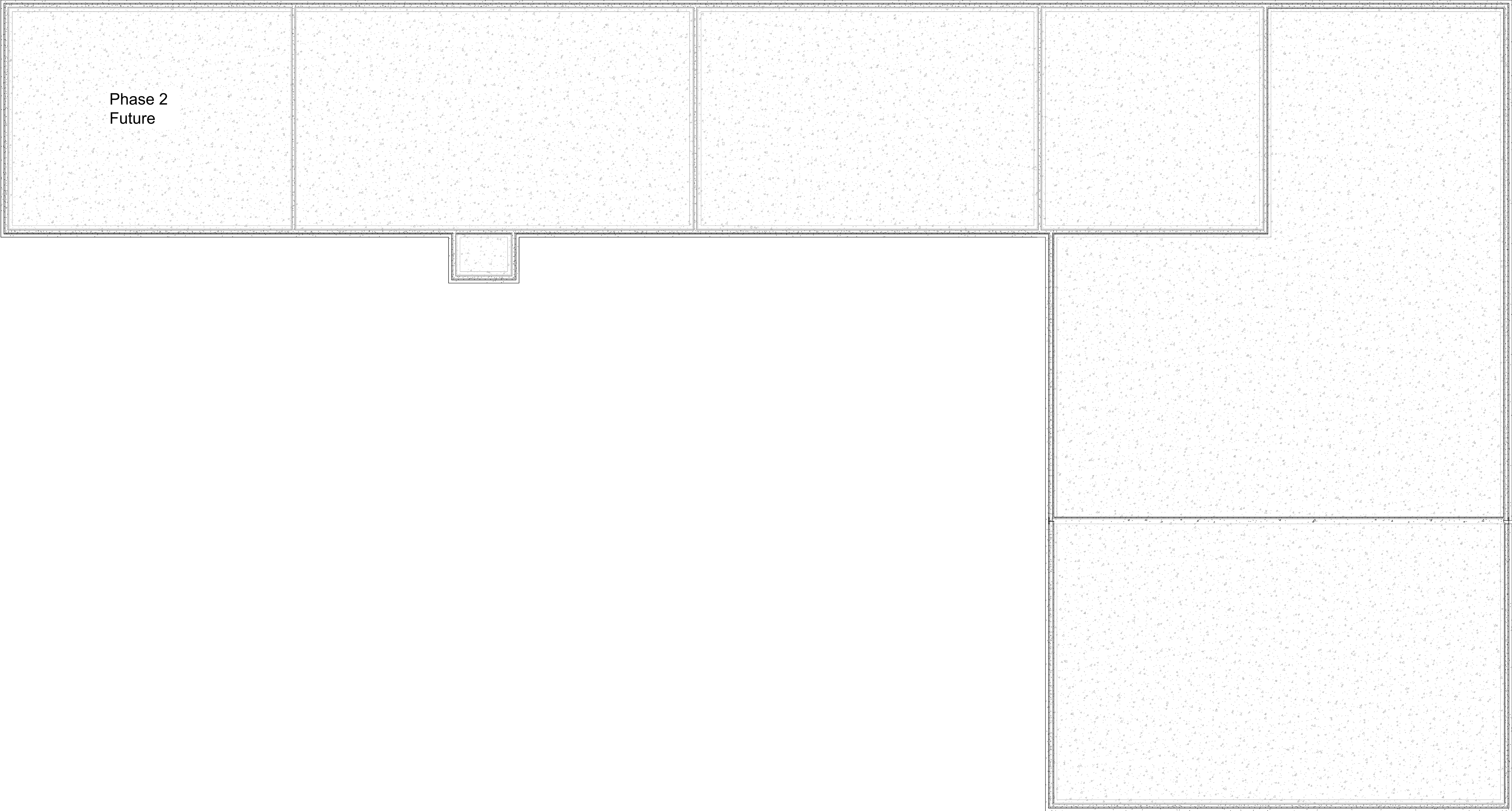
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FLOOR DESCRIPTION

FINISHED FLOOR (by owner)
5" CONCRETE SLAB c/w
REBAR AS PER DETAIL
4" OF 3/4" CRUSHED ROCK
COMPACTED TO 98% PROCTOR DENSITY

2 Floor Description
N.T.S.



1 Foundation
1" = 10'-0"



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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Foundation

SHEET NO:

A 4.0

DATE:

Sep 11, 2025

SCALE:

As indicated

SEAL:

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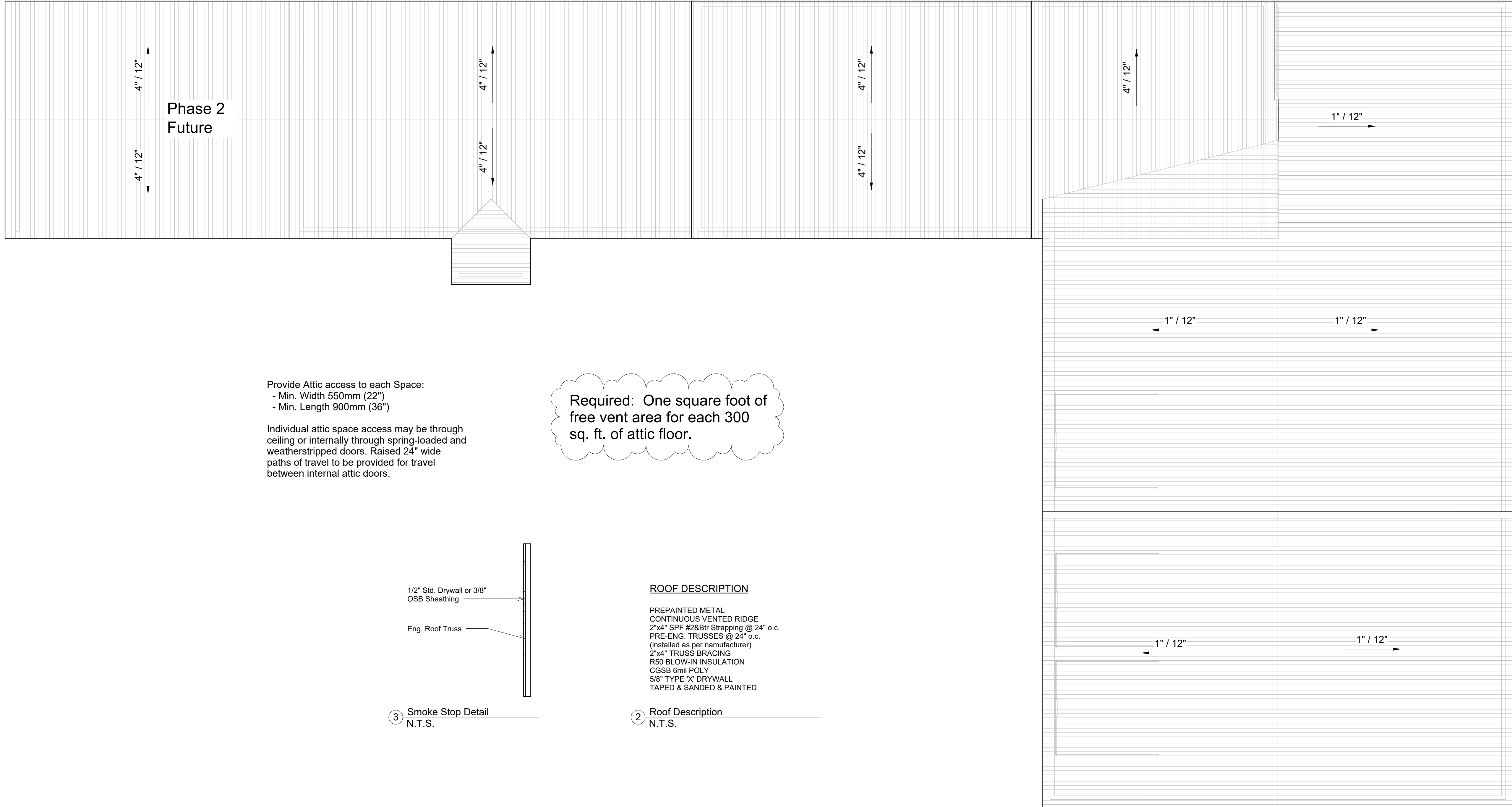
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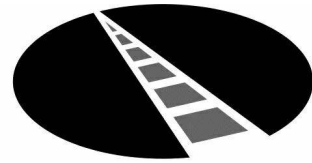
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1 Roof Layout
1" = 10'-0"

3 Smoke Stop Detail
N.T.S.

2 Roof Description
N.T.S.



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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Roof Layout

SHEET NO:

A 5.0

DATE:

Sep 11, 2025

SCALE:

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SCHEDULE B

Approved November 17, 2025



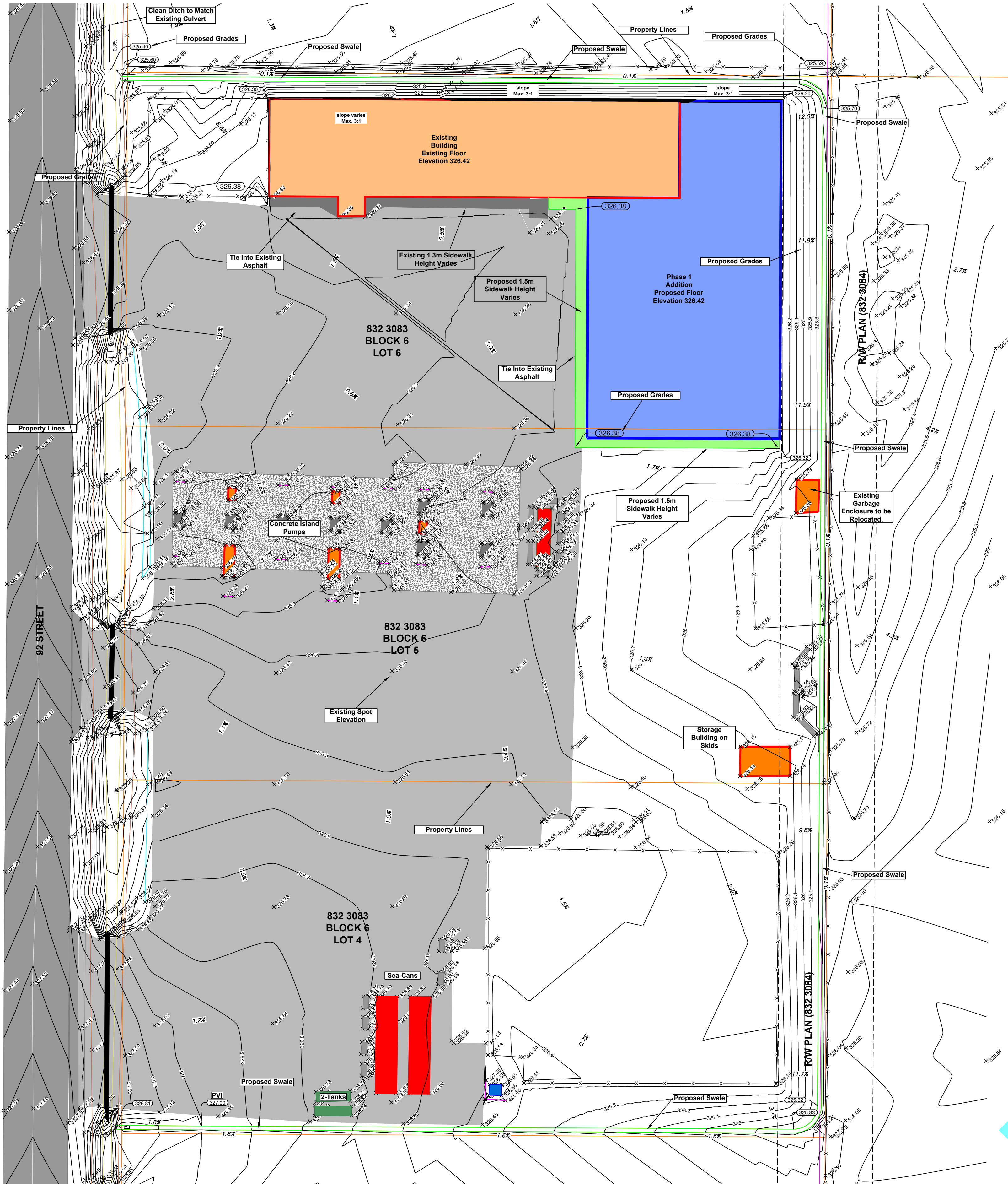
(1 page)

Viv Thoss
Development Authority

832 3083
BLOCK 5
LOT 25

832 3083
BLOCK 5
LOT 26

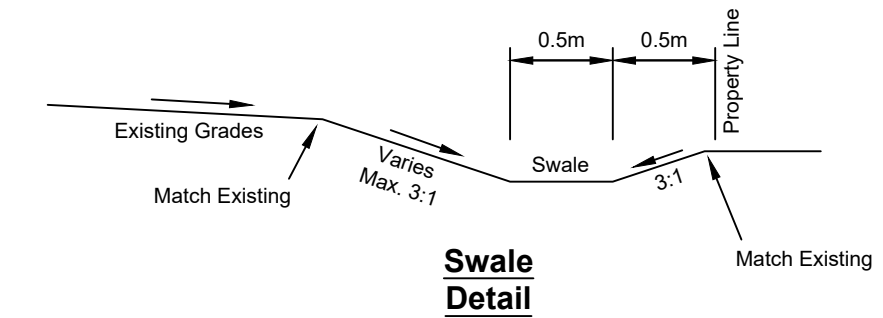
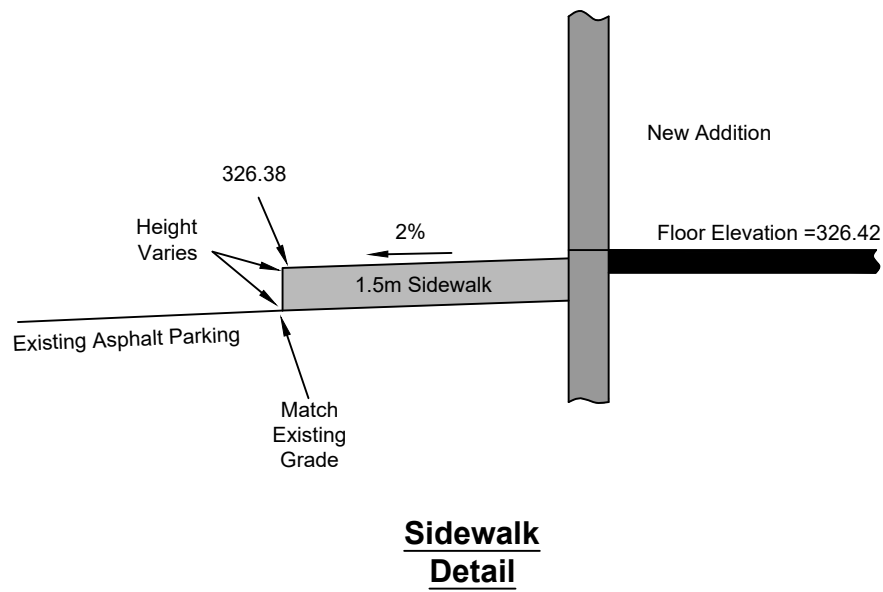
832 3083
BLOCK 5
LOT 27



SITE PLAN SHOWING EXISTING GRADING FOR
EMPIRE CONSTRUCTION
Within
PLAN 832 3083, BLOCK 6, LOTS 4,5,6.
Within
S.W. ¼ Sec.33, Twp.109, Rge.19, W.5M.
And
S.E. ¼ Sec.32, Twp.109, Rge.19, W.5M.
Within
Town of High Level, Alberta



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SCALE 1:300

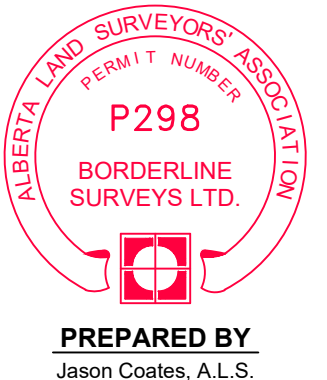


**Existing and Proposed
Spot Elevation**

Existing Spot Elevation ——— x 326.16
Proposed Grade ——— (326.38)

Notes

10202 99th Street
La Crete, Alberta, T0H 2H0
Phone: (780) 538-1955
E-mail: jwc.surveyor@gmail.com



| Revision Table | | | | |
|---------------------|---------------|---------|-------|----------|
| No. | Revision Type | Drafted | Chk'd | Surveyed |
| 0 | Original | MM | LB/JC | JC |
| Client File No: N/A | | | | |
| File No: 250188 | | | | |
| Job No: 250188 | | | | |
| Sheet: 2 of 2 | | | | |
| Revision | | | | |