

1088.000

**TOWN OF HIGH LEVEL
DEVELOPMENT PERMIT**

PERMIT NO.:	DP25-035
PROPOSED USE:	Permitted Use – 22,000 ft ² Phase 1 Warehouse & Garage Addition (Addition to Industrial Operation)
APPLICANT:	Kristine Wellman
LANDOWNER:	La Crete Co-op Ltd.
LOCATION:	Lot 4A, Block 6, Plan 252 2133

A development involving Application No. DP25-035 has been Approved with the following Conditions.

1. The site shall be developed in accordance with the site drawings and information attached hereto as Schedule A.
2. Prior to occupancy of the development, the Registered Owner/Applicant shall obtain a post-construction Lot Grading Certificate, prepared by a registered Alberta Land Surveyor, and provide the Certificate to the Development Officer. The Lot Grading Certificate must demonstrate that the post-construction lot grades, drainage, and elevations are consistent with the approved Lot Grading and Drainage Plan as per Schedule B.
3. Prior to occupancy of the development, the Registered Owner/Applicant shall enter into and comply with a development agreement with the Town of High Level, pursuant to Section 650 of the Municipal Government Act, R.S.A. 2000, c. M-26, as amended, and which development agreement shall be registered by way of caveat against the title of Lot 4A, Block 6, Plan 252-2133. This development agreement shall, amongst other matters address, to the satisfaction of the Town of High Level, the matter of stormwater management, relating to the site to appropriate standards.
4. Development must be commenced within one (1) year from the Date of Issue. If at the expiry of this period, the development has not commenced, this Permit shall be null and void.
5. The Applicant/Registered Owner shall ensure there is no damage to municipal property resulting from this permit. Costs for repairs of municipal property will be assessed by the Town of High Level and will be charged back to the applicant.

You are hereby authorized to proceed with the development specified, provided that any stated conditions are complied with, that all other applicable permits are obtained, and that the appropriate appeal period has been exhausted. Should an appeal be made against this decision to the Subdivision and Development Appeal Board, this Development Permit shall not come into effect until the appeal has been determined and the Permit upheld, modified or nullified.

DATE OF DECISION OF DEVELOPMENT PERMIT: **November 17, 2025**

DATE OF ISSUE OF DEVELOPMENT PERMIT: **November 17, 2025**

DATE OF VALIDITY OF DEVELOPMENT PERMIT: **December 9, 2025**

SIGNATURE OF DEVELOPMENT AUTHORITY: 

Viv Thoss

NOTES:

1. If the development is found to be incorrectly placed, the applicant may be required to move or remove the development at the sole expense of the Applicant/Registered Owner. Any changes to the attached plans will require a new development permit.
2. An appeal can be made by filing a written notice of appeal along with payment to the **Subdivision and Development Appeal Board (10511 103rd Street, High Level, AB, T0H 1Z0)** within 21 days from the date of the receipt of this decision. In the case of an appeal made by a person referred to in section 685(2) of the *Municipal Government Act*, within 21 days after the date on which the notice of the issuance of the permit was given.
3. **This is a Development Permit ONLY.** Issuance of this Permit does not excuse the applicant from satisfying all other applicable municipal, provincial and/or federal requirements.
4. **Future phases of development on the site will be subject to a new development permit application and approval.**

OTHER PERMITS ARE REQUIRED

In the interest of public safety and as required by the Safety Codes Act construction permits must be obtained before commencing any work. Required permits may include building, electrical, gas, plumbing, and private sewage. Additionally, the Town of High Level requires permits for water & sewer connection, new accesses, and driveways.

PLEASE NOTE

The Applicant and/or Registered Owner are responsible for applying for, and receiving, all necessary permits prior to beginning construction. Ensure that you or your contractors obtain all other required permits related to the development. For more information regarding how to obtain the required permits, contact Superior Safety Codes 1-866-999-4777. If you are unsure which additional municipal permits you may need, please contact development@highlevel.ca.

SCHEDULE A

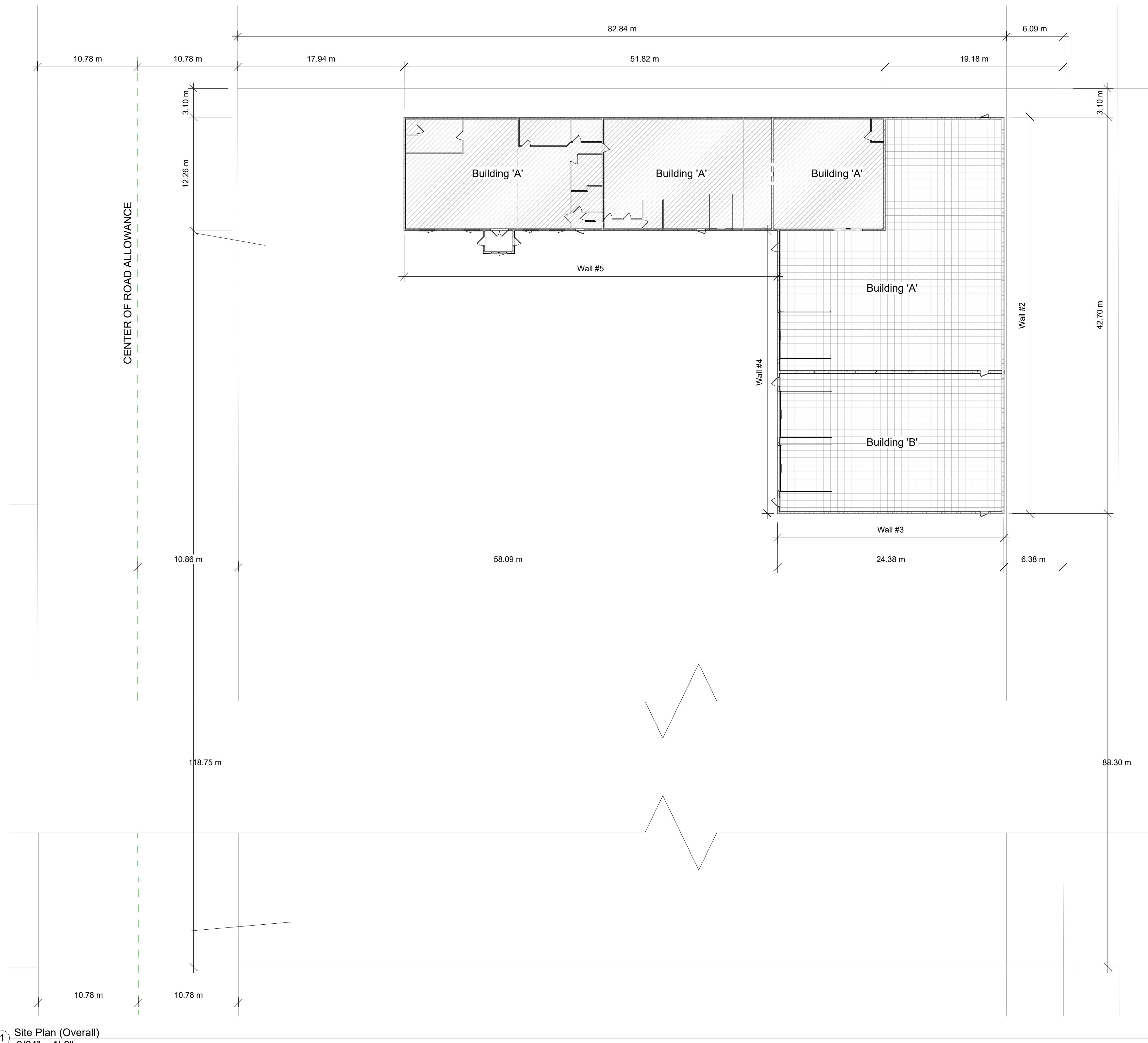
Approved November 17, 2025



(13 pages)

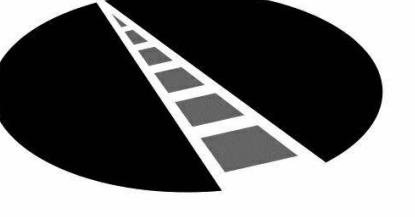
Viv Thoss
Development Authority

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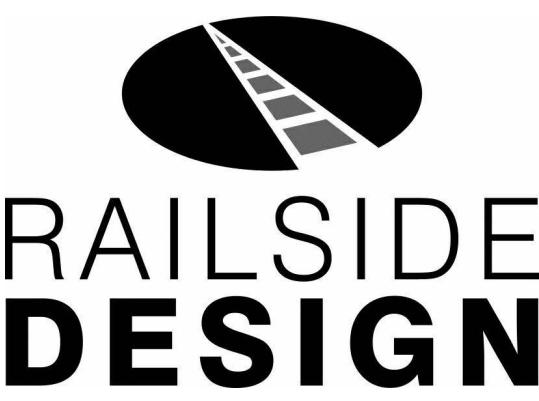
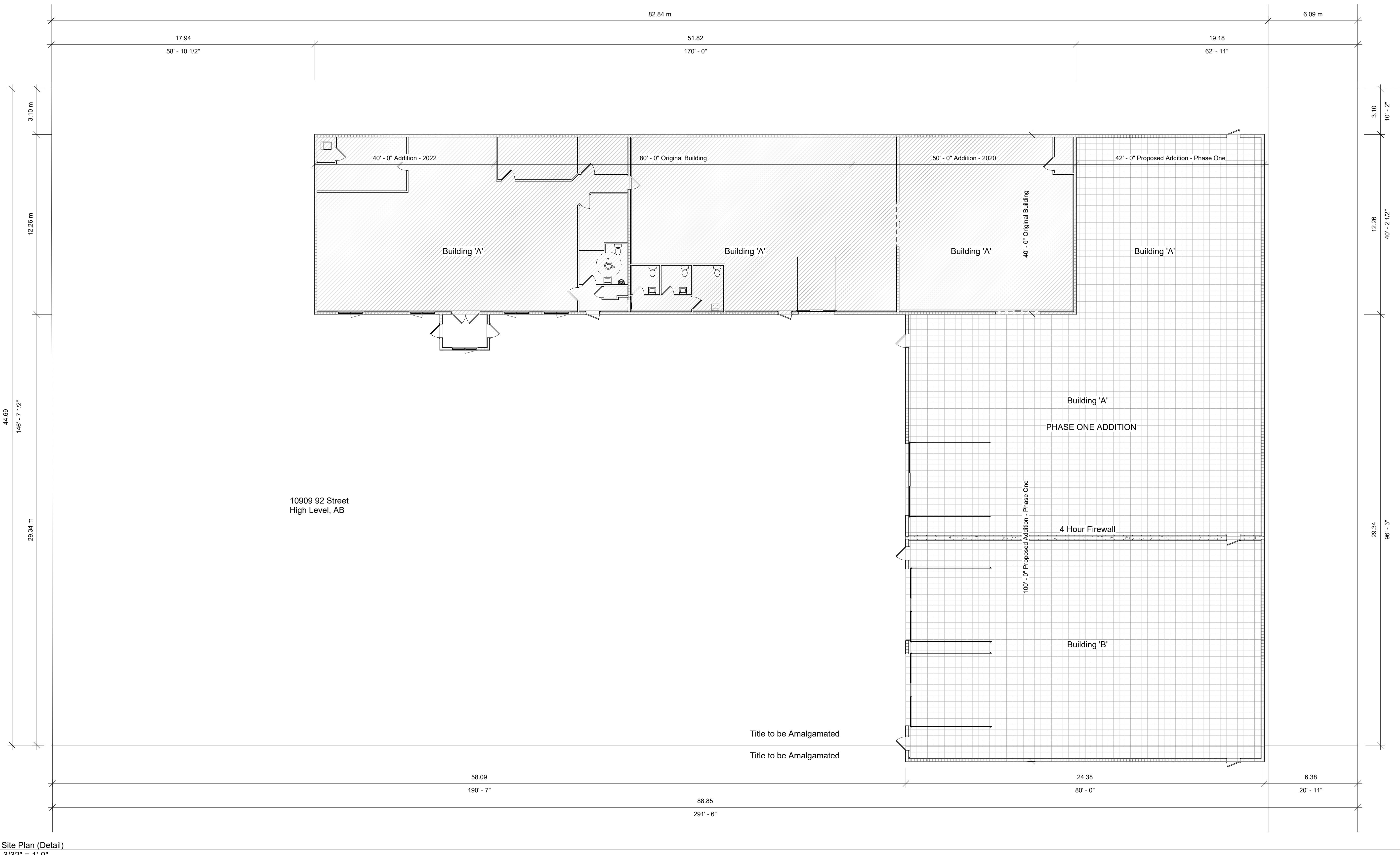


① Site Plan (Overall)

3/64" = 1'-0"

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	CHECKED BY: G.W.			SHEET NO: A 1.1	DATE: Oct 20, 2025		

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PROJECT:
High Level Co-op

High Level, AB

DRAWING TITLE:
Site Plan (Detail)

SHEET NO:
A 1.2

DATE:
Oct 20, 2025

SCALE:
3/32" = 1'-0"

SEAL:
**Issued for Development
Permit**

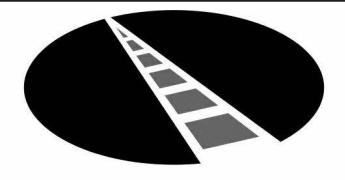
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G.W.

CHECKED BY:
G.W.

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PROJECT:
High Level Co-op
High Level, AB

DRAWING TITLE:
Yard Plan

SHEET NO:
A 1.3

DATE:
Oct 20, 2025

SCALE:
1/16" = 1'-0"

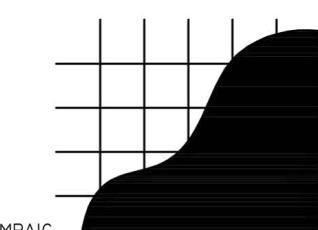
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OCT 6 2025

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rwickman@shaw.ca
ronwickmanarchitect.ca



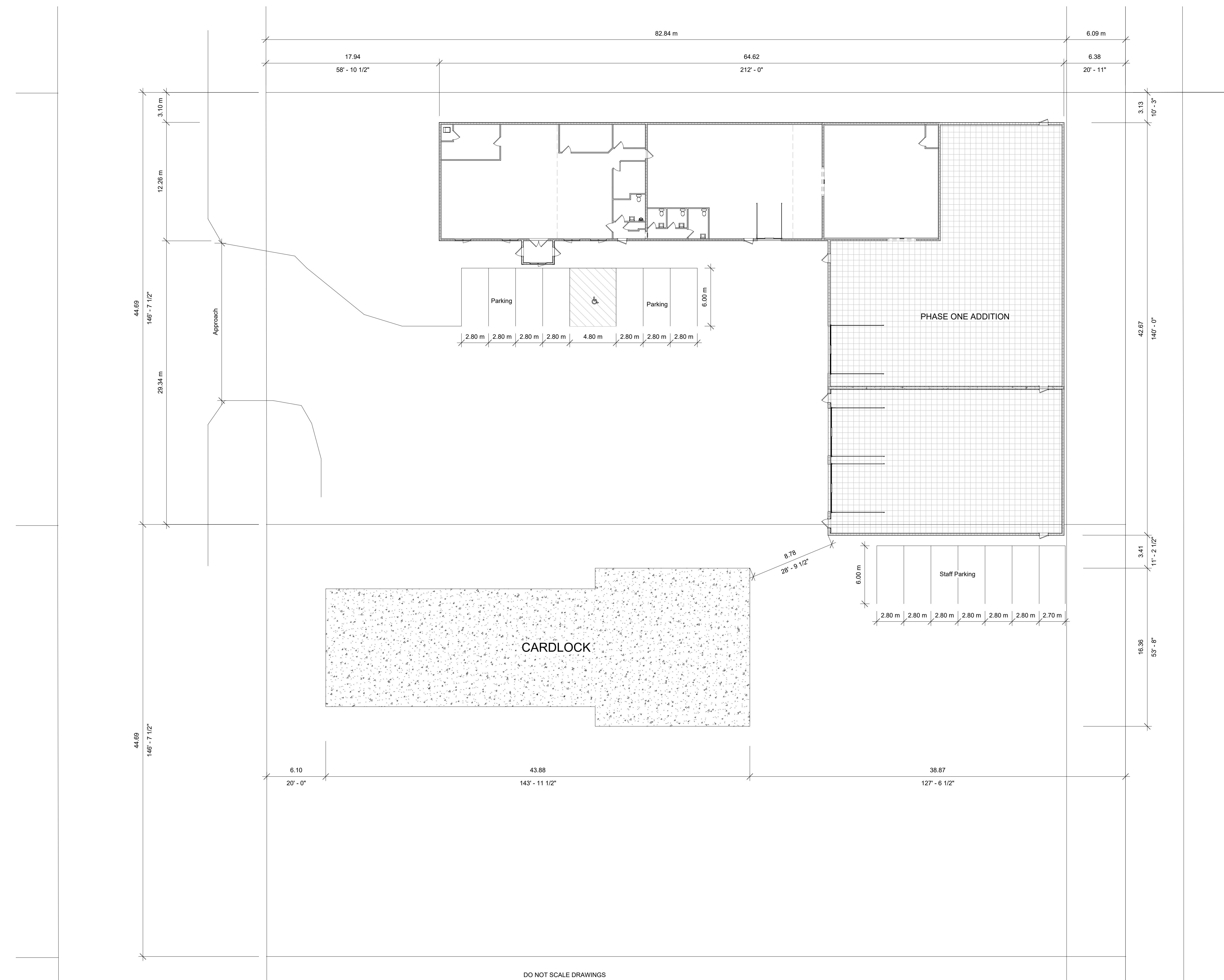
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CHECKED BY: **G.W.**

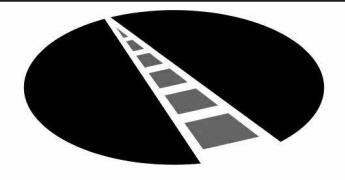
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PROJECT:
High Level Co-op
High Level, AB

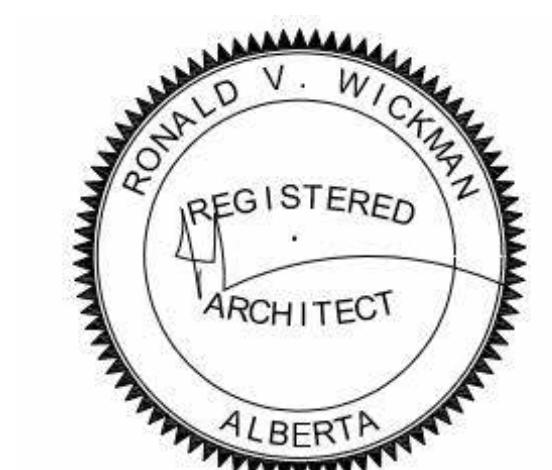
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Circulation Plan

SHEET NO:
A 1.4

DATE:
Oct 20, 2025

SCALE:
3/64" = 1'-0"

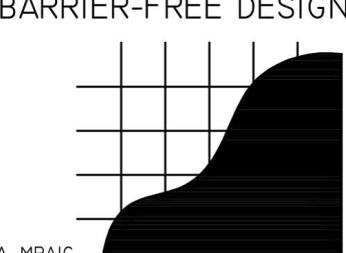
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OCT 6 2025

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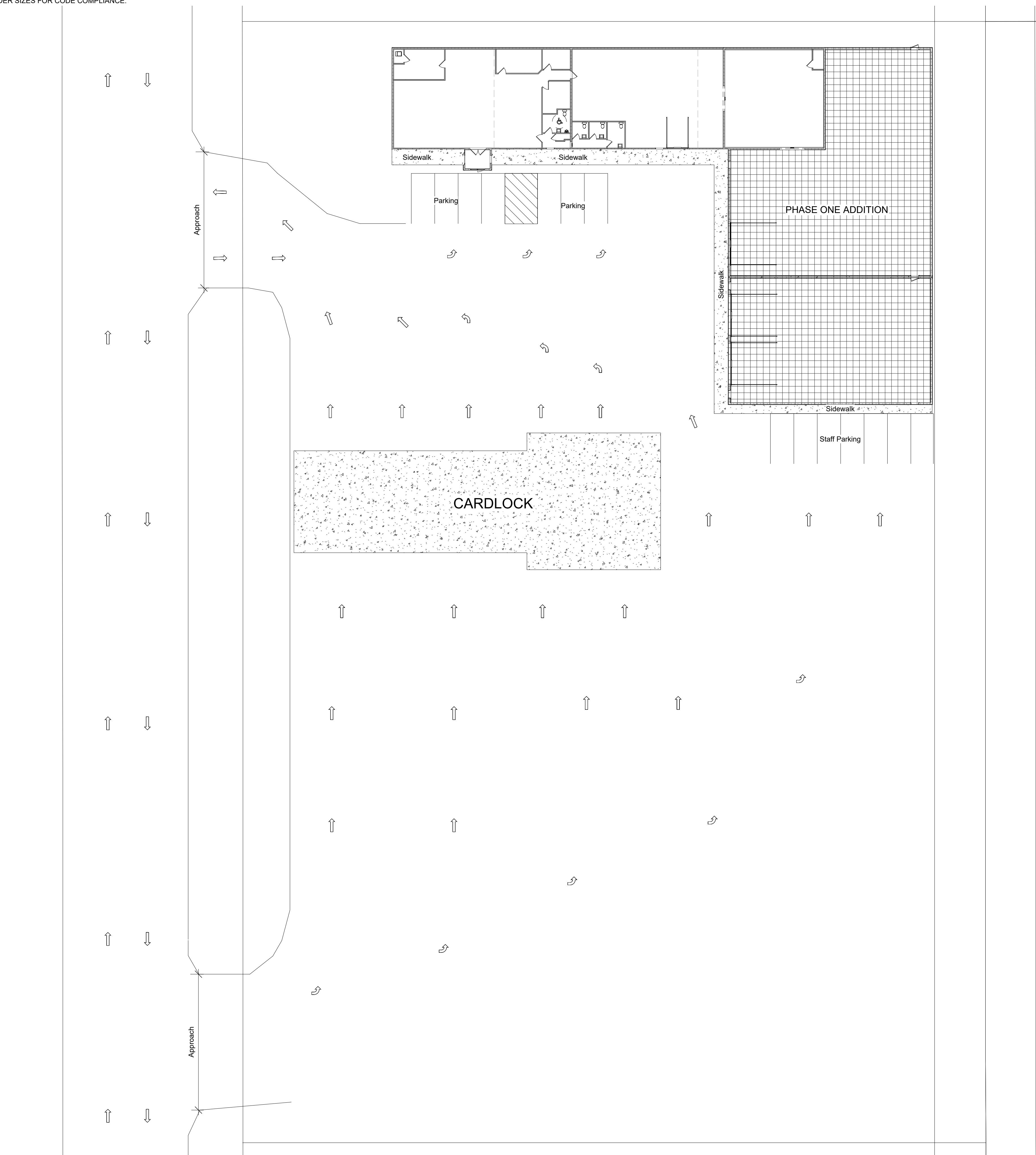


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CHECKED BY: **G.W.**

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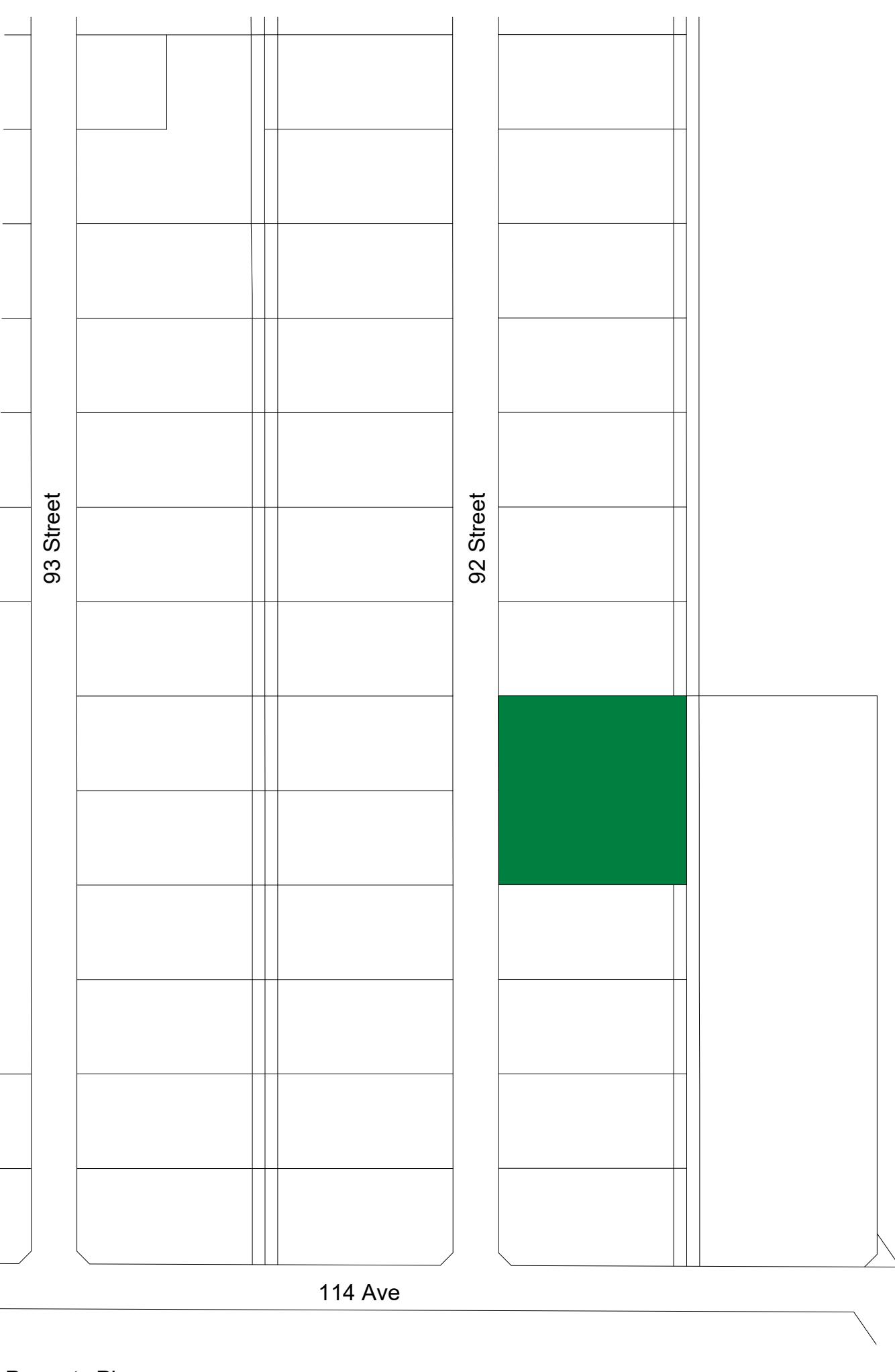
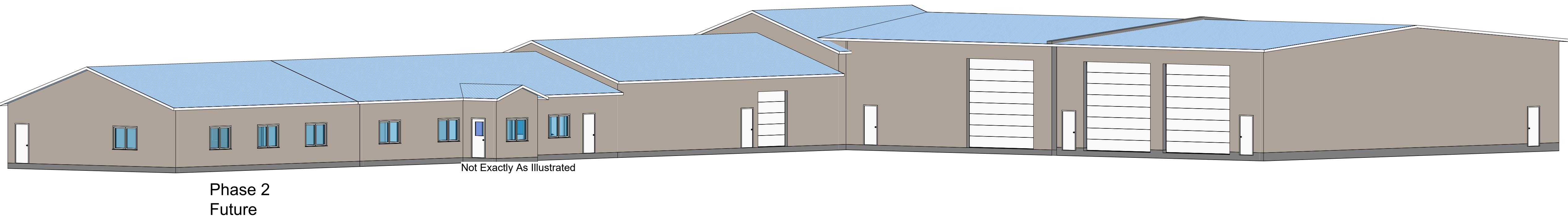
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charles@kbengineering.ca



③ Property Plan
N.T.S.

② Cover Notes
N.T.S.

Sheet List	
Sheet Number	Sheet Name
A 1.0	Cover
A 1.1	Site Plan
A 1.2	Yard Plan
A 2.0	West & South Elevations
A 2.1	East & North Elevations
A 3.0	Layout (Original)
A 3.1	Layout (Overall)
A 3.2	Layout (Retail Addition)
A 3.3	Layout (Warehouse & Garage Addition)
A 4.0	Foundation
A 5.0	Roof Layout

BUILDING ANALYSIS ABC 2023

BUILDING 'A';
RETAIL & WAREHOUSE
BUILDING CLASSIFICATION GROUP D
BUILDING CODE 3.2.2.62 (Combustible Construction)

BUILDING 'B';
PARKING GARAGE
BUILDING CLASSIFICATION GROUP F3
BUILDING CODE 3.2.2.89 (Combustible Construction)

FACING 2 STREETS

BUILDING AREAS

BUILDING 'A'
Existing Floor Area - 6,888 Sq.Ft. (639.9 M²)
Retail Addition Floor Area - 2,000 Sq.Ft. (185.8 M²)
Warehouse Addition Floor Area - 5,680 Sq.Ft. (520.3 M²)

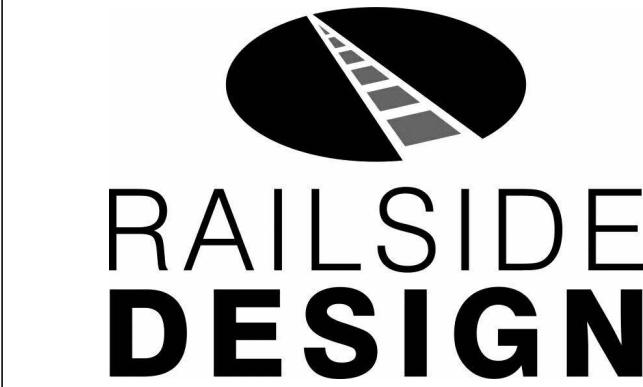
TOTAL BUILDING 'A' FOOTPRINT - 14,568 Sq.Ft. (1,353.4 M²)

BUILDING 'B'
Parking Garage Floor Area - 4,000 Sq.Ft. (371.6 M²)

TOTAL BUILDING 'B' FOOTPRINT - 4,000 Sq.Ft. (371.6 M²)

OCCUPANT LOAD 14

10909 92 Street
High Level, AB



Box 3083
Vermilion, AB
T9X 2B1
Tel: (403) 740-6414

Email:
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PROJECT:
High Level Co-op
High Level, AB

DRAWING TITLE:
Cover

SHEET NO:
A 1.0

DATE:
Sep 11, 2025

SCALE:
As indicated

SEAL:
Issued for Development
Permit

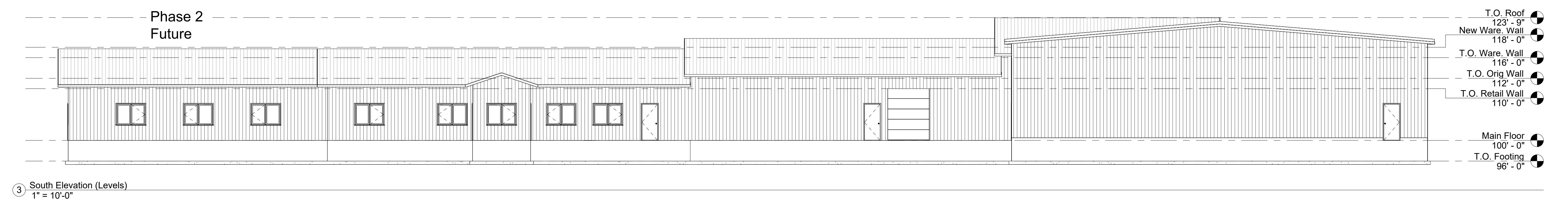
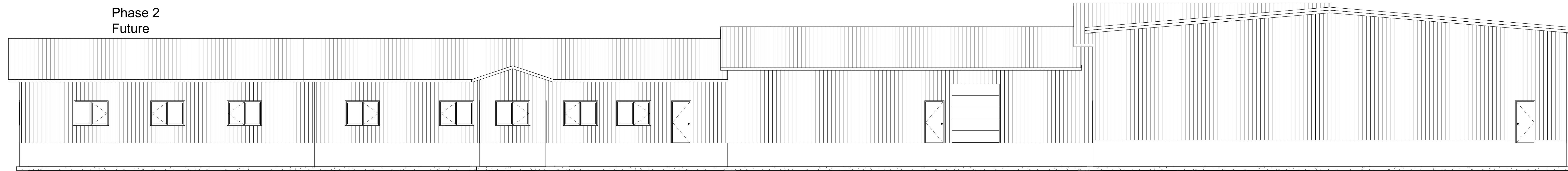
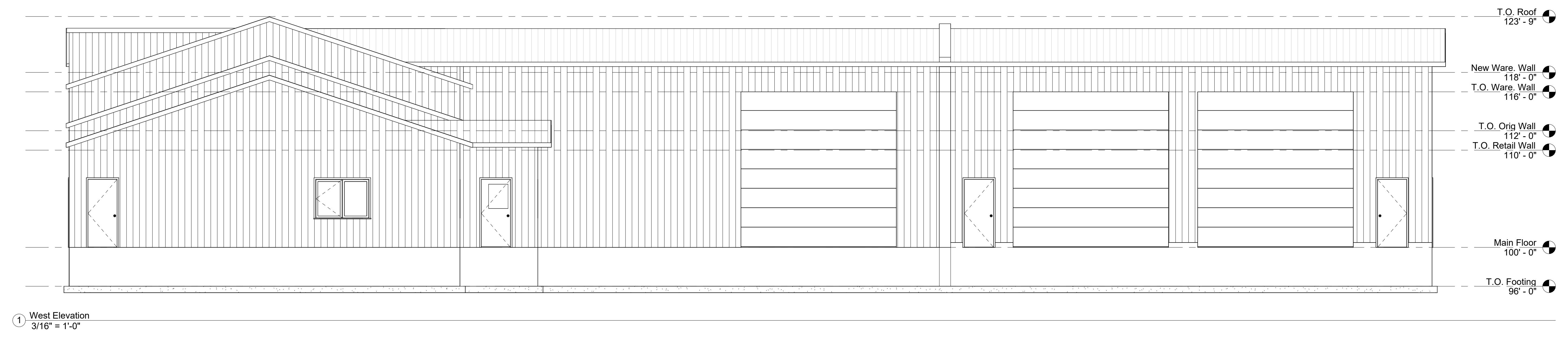
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G.W.

CHECKED BY:
G.W.

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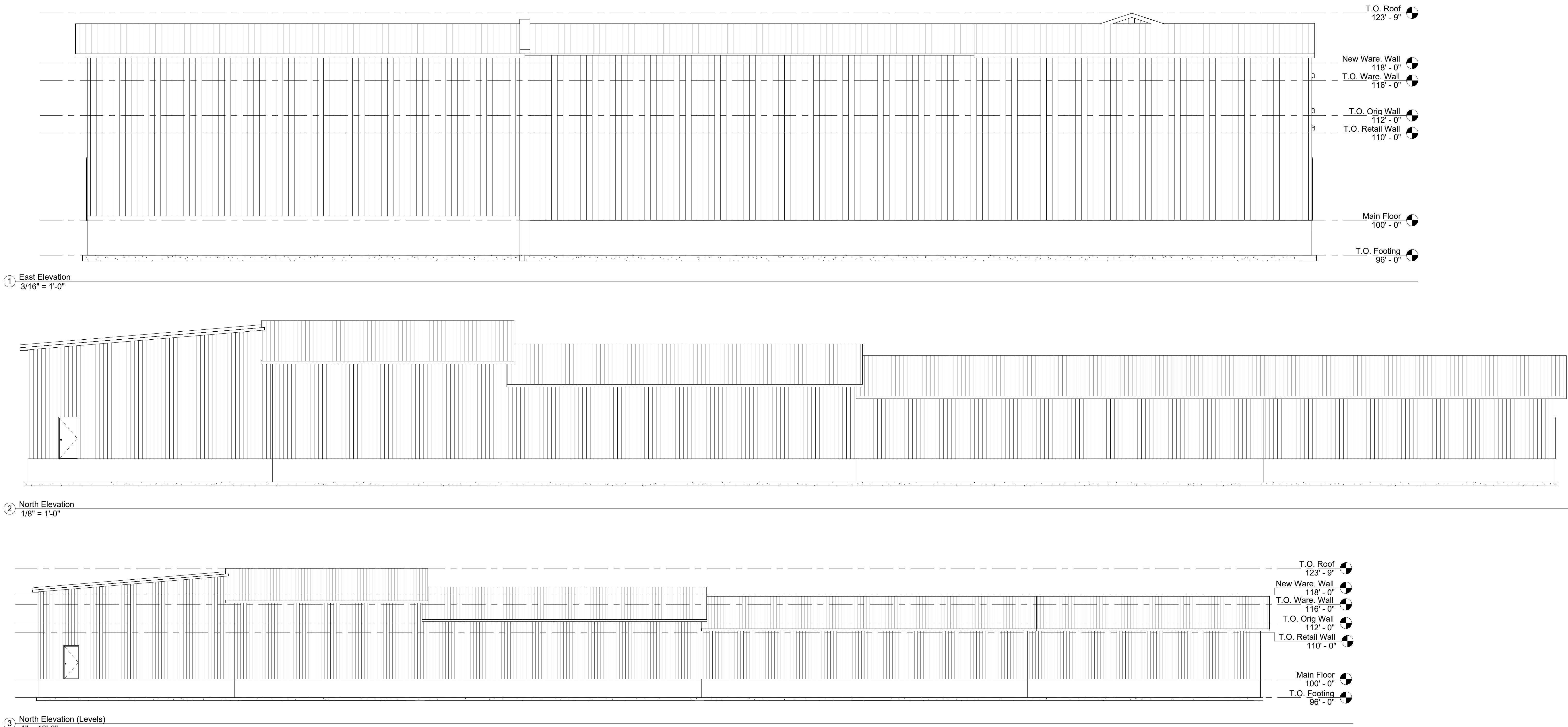
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	CHECKED BY: G.W.		SHEET NO: A 2.0			
			DATE: Sep 11, 2025			

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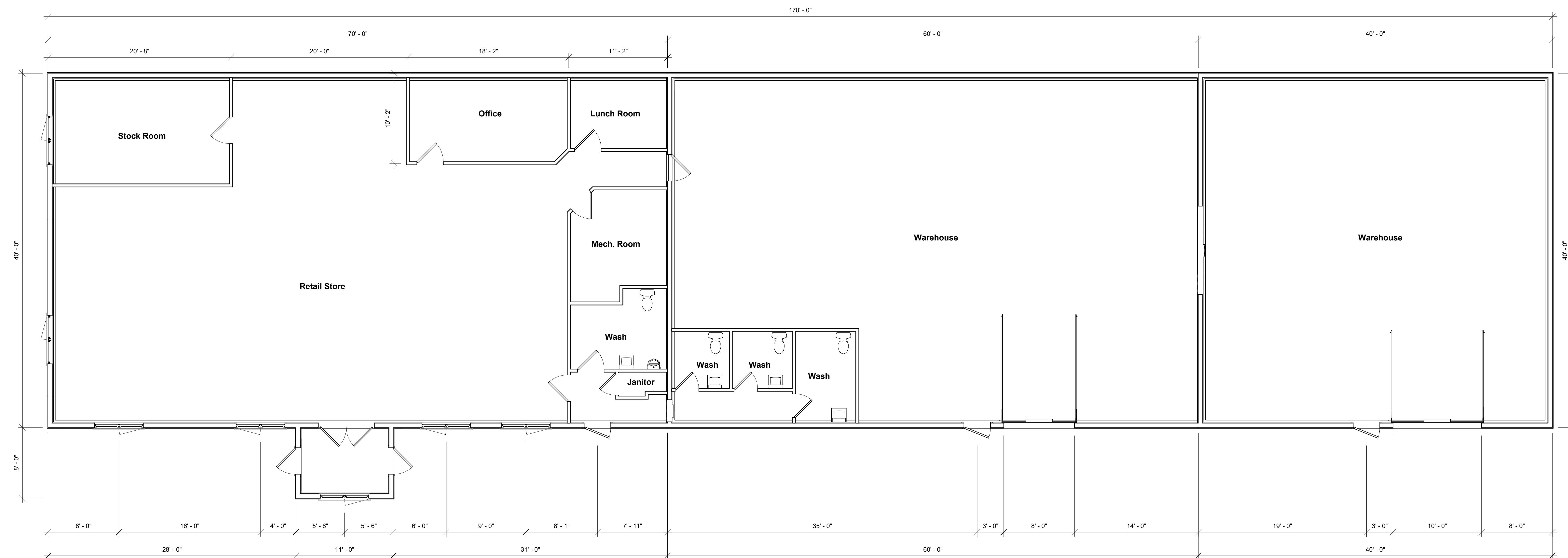
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1 Main Floor (Original)

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DRAWN E

1

Issued for Development Perm

1

3/16" = 1'-

DRAWING TIT

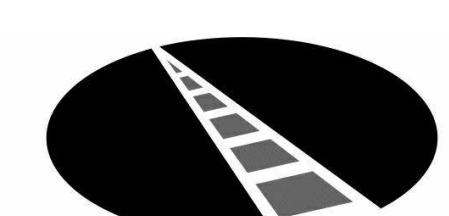
Layout (Original)

PROJE

High Level Co-op

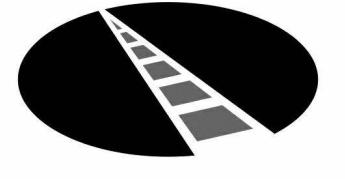
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Tel: (403) 740-6414

Email:
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RAILSIDE DESIGN

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RAILSIDE DESIGN

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Email:
admin@railsidedesign.com
www.railsidedesign.com

PROJECT:

High Level, AB

DRAWING TITLE:

SHEET NO:

DATE:

SCALE:

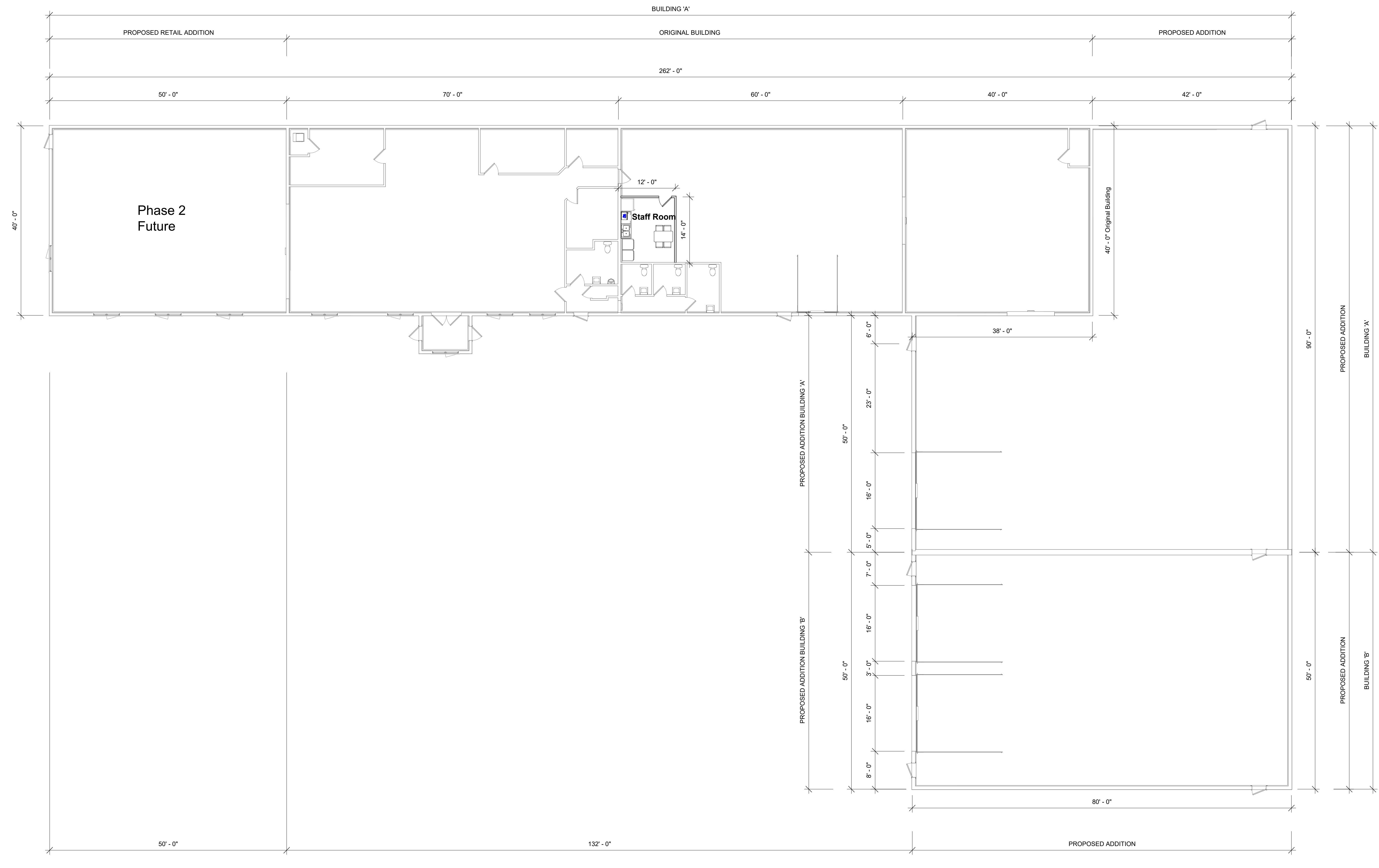
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G.W.

CHECKED BY:
G.W.

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PROJECT:
High Level Co-op

High Level, AB

DRAWING TITLE:
Layout (Retail Addition)

SHEET NO:
A 3.2

DATE:
Sep 11, 2025

SCALE:
1/4" = 1'-0"

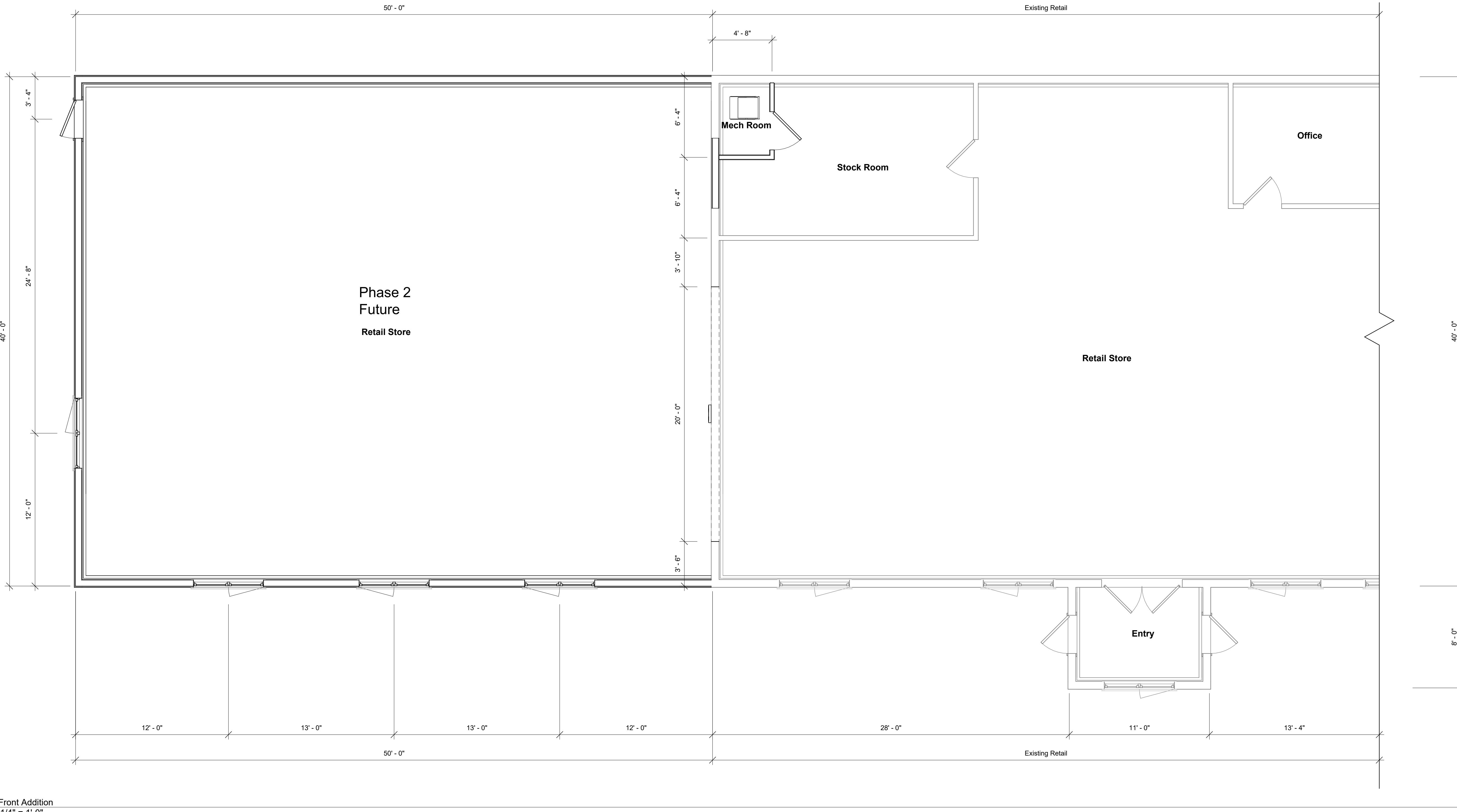
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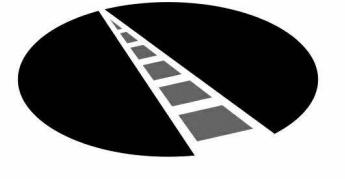
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PROJECT:

High Level Co-op

High Level, AB

DRAWING TITLE:

Layout (Warehouse & Garage Addition)

SHEET NO: **A 3 3**

DATE:

SCALE:

SEAL:

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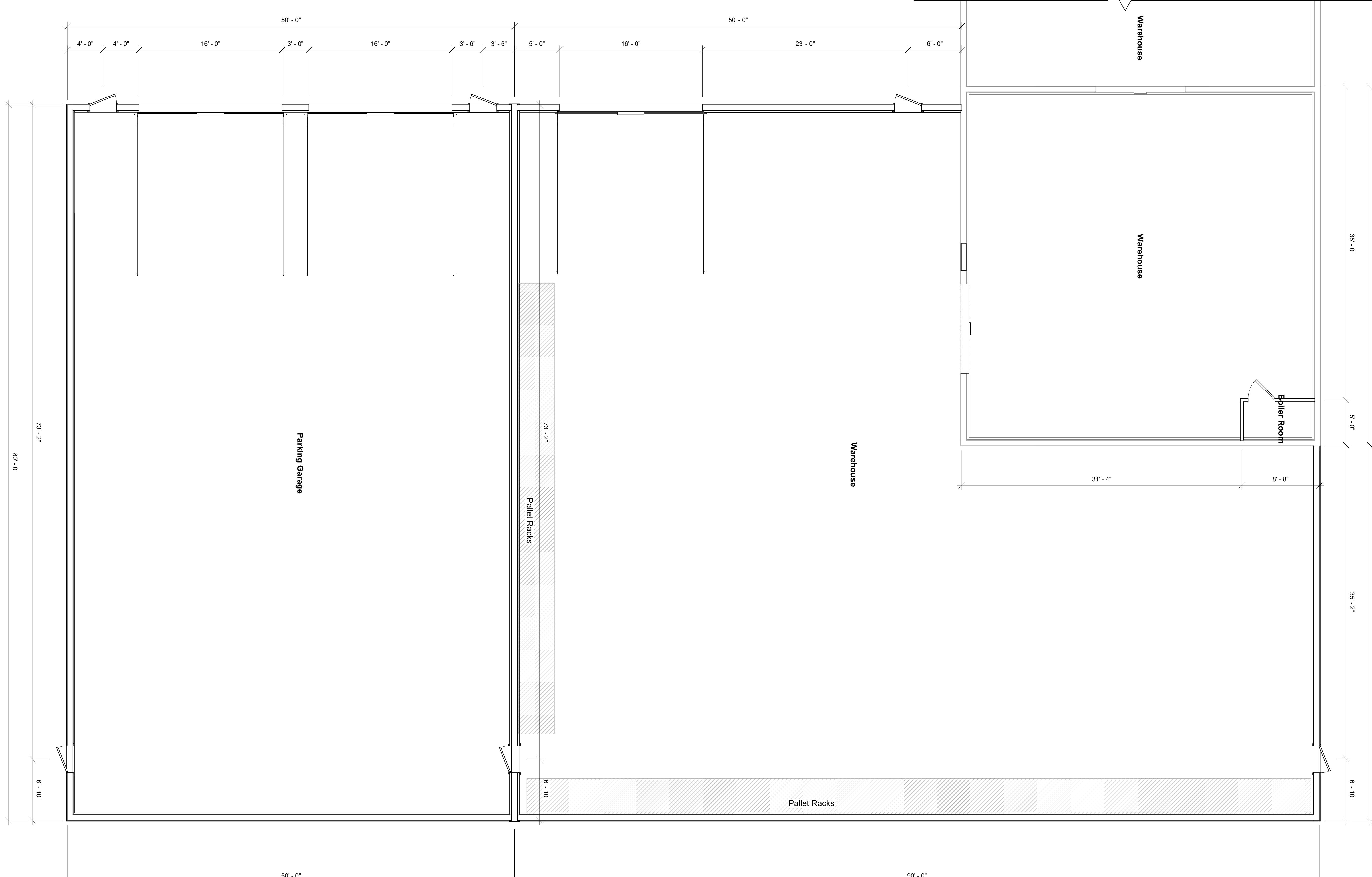
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PROJECT:
High Level Co-op

High Level, AB

DRAWING TITLE:
Foundation

SHEET NO:
A 4.0

DATE:
Sep 11, 2025

SCALE:
As indicated

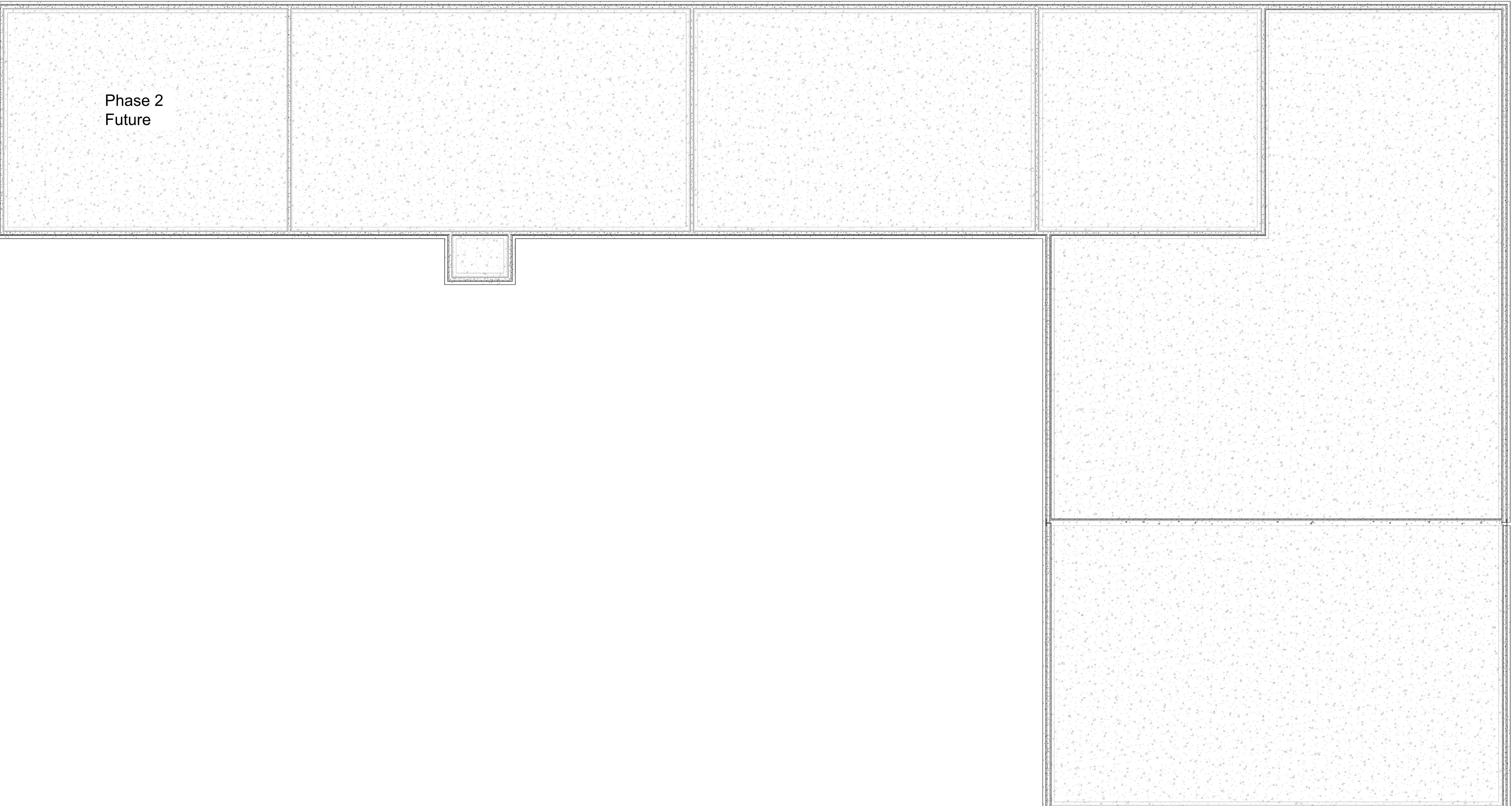
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① Foundation
1" = 10'-0"

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PROJECT:
High Level Co-op

High Level, AB

DRAWING TITLE:
Roof Layout

SHEET NO:
A 5.0
DATE:
Sep 11, 2025

SCALE:
As indicated

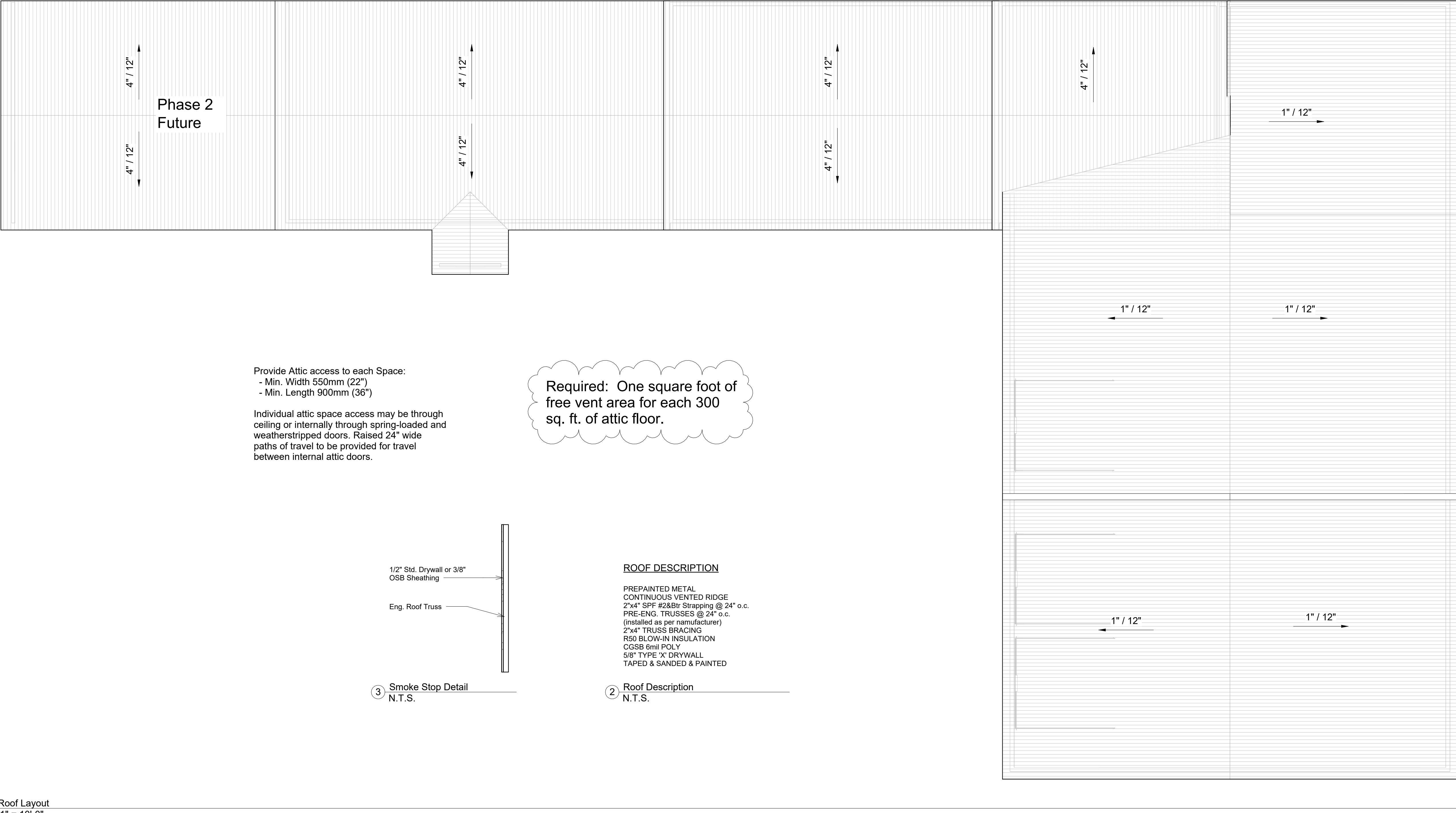
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SCHEDULE B

Approved November 17, 2025



(1 page)

Viv Thoss
Development Authority

